UNIVERSITY OF SOUTH CAROLINA
AIKEN

# PENLAND HALL RESTROOM RENOVATIONS
# 471 UNIVERSITY PARKWAY
# AIKEN, SOUTH CAROLINA
# FOR
# UNIVERSITY OF SOUTH CAROLINA - AIKEN

## SET CONTENTS

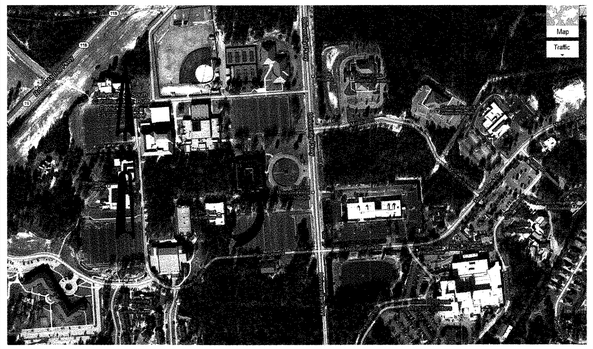
SHEET INDEX


| Sheet Number | Sheet Title |
|---|---|
| G001 | COVER SHEET |
| A100 | FIRST FLOOR RESTROOM PLANS |
| A101 | SECOND FLOOR RESTROOM PLANS |
| A102 | PHOTOGRAPHS OF EXISTING |
| A200 | INTERIOR ELEVATIONS |
| A201 | INTERIOR ELEVATIONS |
| A401 | ADA DETAILS |
| P100 | FIRST FLOOR PLUMBING PLANS |
| P101 | SECOND FLOOR PLUMBING PLANS |
| P200 | PLUMBING SCHEDULES, NOTES AND DETAILS |
| E100 | ELECTRICAL OVERALL PLAN |
| E101 | ELECTRICAL FIRST FLOOR PLAN |
| E102 | ELECTRICAL SECOND FLOOR PLAN |

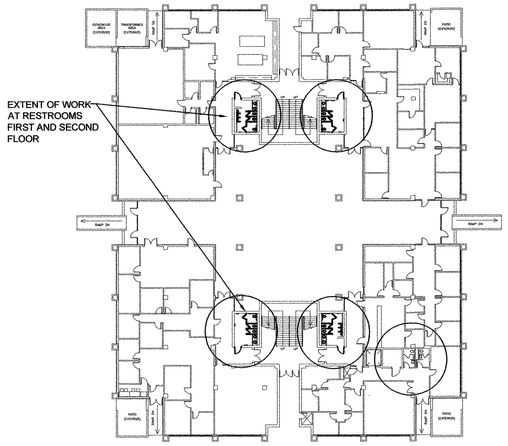

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

## PROJECT LOCATION MAP

471 UNIVERSITY PARKWAY
AIKEN, SOUTH CAROLINA




## LOCATION MAP




## PROJECT TEAM


OWNER:
UNIVERSITY OF SOUTH CAROLINA- AIKEN
471 UNIVERSITY PARKWAY
AIKEN, SOUTH CAROLINA
LISA GROFT, PROJECT MANAGER
PHONE: (803) 641-2856
EMAIL: LisaG@usca.edu

ARCHITECT/ ENGINEER PRIMARY CONTACT:
JOHNSON LASCHOBER & ASSOCIATES, P.C.
DARREN PRICKETT, REGISTERED LANDSCAPE ARCHITECT
1296 BROAD ST.
AUGUSTA, GA. 30901
PHONE: (706) 724-5756
EMAIL: Ddprickett@thejlagroup.com

ARCHITECT:
JOHNSON LASCHOBER & ASSOCIATES, P.C.
KEVIN KOTELLOS, REGISTERED ARCHITECT
1296 BROAD ST.
AUGUSTA, GA. 30901
PHONE: (706) 724-5756
EMAIL: kkotellos@thejlagroup.com

STRUCTURAL ENGINEER:
JOHNSON LASCHOBER & ASSOCIATES, P.C.
DONALD THORSTAD, PE
1296 BROAD ST.
AUGUSTA, GA. 30901
PHONE: (706) 724-5756
EMAIL: dthorstad@thejlagroup.com

MECHANICAL ENGINEER:
JOHNSON LASCHOBER & ASSOCIATES, P.C.
CURTIS WILLIAMSON, PE
1296 BROAD ST.
AUGUSTA, GA. 30901
PHONE: (706) 724-5756
EMAIL: cwilliamson@thejlagroup.com

ELECTRICAL ENGINEER:
JOHNSON LASCHOBER & ASSOCIATES, P.C.
RALPH SALZMANN, PE
1296 BROAD ST.
AUGUSTA, GA. 30901
PHONE: (706) 724-5756
EMAIL: rsalzmann@thejlagroup.com



THIS DOCUMENT IS THE PROPERTY OF JOHNSON LASCHOBER & ASSOCIATES, P.C. THE UNAUTHORIZED REPRODUCTION, COPYING OR OTHERWISE USE OF THIS DOCUMENT IS STRICTLY PROHIBITED AND ANY INFRINGEMENT THEREUPON MAY BE SUBJECT TO LEGAL ACTION.


## CODE DATA

APPLICABLE CODES

- IBC (INTERNATIONAL BUILDING CODE), 2006 EDITION
- IFGC (INTERNATIONAL FUEL GAS CODE), 2006 EDITION
- IMC (INTERNATIONAL MECHANICAL CODE), 2006 EDITION
- IPC(INTERNATIONAL PLUMBING CODE), 2006 EDITION
- NATIONAL ELECTRICAL CODE , 2008 EDITION
- INTERNATIONAL FIRE CODE, 2006 EDITION
- IECC, 2006 EDITION
- NFPA 101 LIFE SAFETY CODES, 2000 EDITION
- CURRENT EDITION OF ADA GUIDELINES
- ANSI 117.1

**TYPE OF CONSTRUCTION** 2006 IBC-SECTION 602

2B UNSPRINKLERED

**OCCUPANCY TYPE:** 2006 IBC-SECTION 303

BUSINESS OCCUPANCY

**SCOPE OF WORK:**

SELECTIVE DEMOLITION OF EXISTING FIRST AND SECOND FLOOR RESTROOMS. NEW CONSTRUCTION AND RENOVATION OF EXISTING RESTROOMS AT FIRST AND SECOND FLOOR. NO CHANGE IN OCCUPANCY, LIFE SAFETY REQUIREMENTS, OR CODE RELATED ISSUES.

## SOIL TREATMENT:

TERMITICIDE: PROVIDE AN EPA-REGISTERED TERMITICIDE, COMPLYING WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, IN AN AQUEOUS SOLUTION FORMULATED TO PREVENT TERMITE INFESTATION. PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMUM TERMITICIDE CONCENTRATION ALLOWED FOR EACH SPECIFIC USE, ACCORDING TO PRODUCT'S EPA-REGISTERED LABEL.

PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, [PROVIDE THE FOLLOWING] [PROVIDE ONE OF THE FOLLOWING] [AVAILABLE PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

A. BASF CORPORATION, AGRICULTURAL PRODUCTS; TERMIDOR.

B. BAYER ENVIRONMENTAL SCIENCE; PREMISE 75.

C. FMC CORPORATION, AGRICULTURAL PRODUCTS GROUP; [DRAGNET FT SERVICE LIFE OF TREATMENT: SOIL TREATMENT TERMITICIDE THAT IS EFFECTIVE FOR NOT LESS THAN THREE YEARS AGAINST INFESTATION OF SUBTERRANEAN TERMITES.

## PROJECT IDENTIFICATION SIGNS

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR A MINIMUM OF TWO (2) PROJECT IDENTIFICATION SIGNS 8'-0"x4'-0"
THE SIGNS SHALL BE CONSTRUCTED OF COROPLAST, CORRUGATED PLASTIC, MOUNTED ON A PAINTED 2 X 4 FRAME, AND ATTACHED TO PAINTED 4 X 4 POSTS ANCHORED INTO THE GROUND. SIGNS SHALL BE FRAMED WITH PAINTED WOOD TRIM.

SILKSCREENED GRAPHICS INCLUDE:
USC AIKEN LOGO AND TEXT
JLA LOGO AND TEXT
GENERAL CONTRACTOR LOGO AND TEXT
MASTER PLAN/COLORED SITE PLAN

CONTACT JLA FOR HIGH RESOLUTION GRAPHICS AND SUBMIT TO SIGNAGE COMPANY FOR MOCK UP AND REVIEW PRIOR TO ORDERING SIGNS.

TEMPORARY SIGNS: PROVIDE OTHER SIGNS AS REQUIRED TO INFORM PUBLIC AND INDIVIDUALS SEEKING ENTRANCE TO PROJECT.
PROVIDE TEMPORARY, DIRECTIONAL SIGNS FOR CONSTRUCTION PERSONNEL AND VISITORS.
MAINTAIN AND TOUCHUP SIGNS SO THEY ARE LEGIBLE AT ALL TIMES.

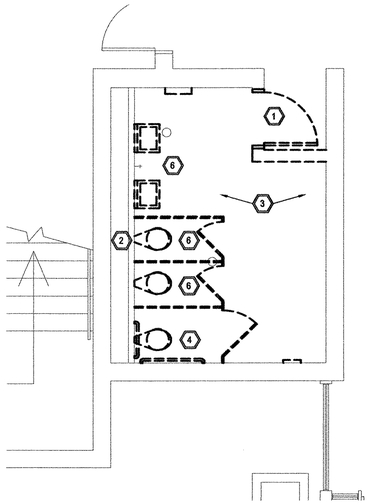
## GENERAL NOTES

1. THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS SHALL BE REQUIRED TO VISIT THE PREMISES TO INSPECT EXISTING CONDITIONS, BECOME FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATE PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE DRAWINGS.
2. ALL WORK PERFORMED SHALL BE IN STRICT COMPLIANCE WITH LOCAL CITY/COUNTY REGULATIONS AND CODES, O.S.H.A. STANDARDS, THE CODE STANDARDS LISTED BELOW, EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS, AND CONFORM TO SPECIFIC REGULATIONS AS MANDATED BY THE OWNER AND THE ARCHITECT.
3. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO INSURE THE PROCUREMENT OF ALL REQUIRED AND NECESSARY PERMITS. ALL CONTRACTORS SHALL OBTAIN NECESSARY AND APPLICABLE, CITY/COUNTY & STATE PERMITS, INSPECTIONS AND APPROVAL PRIOR TO THE COMMENCEMENT OF ANY WORK AND CERTIFICATE OF OCCUPANCY UPON COMPLETION OF PROJECT. CONTRACTOR SHALL FURNISH COPIES OF PERMITS, INSPECTIONS AND CERTIFICATES TO OWNER UPON REQUEST.
4. CONTRACTOR SHALL BE REQUIRED TO COORDINATE WORK SCHEDULE TO MINIMIZE DISRUPTION OF NORMAL ACTIVITIES AND TO AVOID INTERFERENCE WITH ADJACENT OPERATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT SURROUNDINGS, MATERIALS AND EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION AREAS AND OCCUPIED OR PUBLIC AREAS TO BE MAINTAINED BY CONTRACTOR. DAMAGE TO EXISTING-TO-REMAIN CONSTRUCTION, MATERIALS OR EQUIPMENT TO BE RESTORED TO ORIGINAL CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TRASH AND DEBRIS FROM JOB SITE ON A DAILY BASIS. FINAL CLEAN-UP WITHIN SCOPE OF WORK: REMOVE DUST, DEBRIS, OILS, STAINS, FINGERPRINTS AND LABELS FROM ALL EXPOSED FINISHED SURFACES.
6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF ALL RELATED TRADES AND VENDORS NECESSARY TO THE COMPLETION OF THE JOB ON A TIMELY BASIS.
7. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. SUBMIT TO ARCHITECT ANY DISCREPANCIES FOR CLARIFICATION.
8. ALL WORK SHALL BE IN COMPLIANCE WITH THE INTERNATIONAL BUILDING CODE, AIA A-201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, CURRENT EDITION OF NATIONAL ELECTRIC CODE, INTERNATIONAL PLUMBING, MECHANICAL, AND ELECTRICAL CODE, RECOGNIZED INDUSTRY STANDARDS, CRAFTSMANSHIP STANDARDS IN THE AREA, ALL MANUFACTURERS RECOMMENDATIONS, AND ALL OTHER APPLICABLE CODES.
9. THE ARCHITECT DOES NOT GUARANTEE THE PERFORMANCE OF THE PROJECT IN ANY RESPECT OTHER THAN THAT OUR ARCHITECTURAL WORK AND JUDGEMENT RENDERED MEET THE STANDARDS OF CARE OF OUR PROFESSION.
10. PROVIDE ACCESSIBILITY FOR THE PHYSICALLY HANDICAPPED CONFORMING TO THE CURRENT EDITION OF ADA GUIDELINES, AND ANSI 117.1
11. THE LOCATION OF THE EXISTING UTILITIES AND STRUCTURES SHOWN HEREON ARE APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND ACTUAL LOCATION OF SUCH, WHETHER SHOW HEREON OR NOT, PRIOR TO ANY EXCAVATION, ANY DAMAGES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
12. THE FLOOR ON BOTH SIDES OF A DOOR SHALL BE LEVEL AND SHALL HAVE THE SAME ELEVATION ON BOTH SIDES OF THE DOOR, FOR A DISTANCE ON EACH SIDE EQUAL TO THE WIDTH OF THE WIDEST SINGLE DOOR.
13. EVERY INTERIOR AND EXTERIOR DOOR IN THE BUILDING SHALL BE PROVIDED WITH HANDICAP HARDWARE (LEVERS, PANIC HARDWARE, OR U-SHAPE DESIGNED DEVICES, ETC. TO MEET ADA ACCESSIBILITY GUIDELINES AND ANSI 117.1.THE CONTRACTOR SHALL PROVIDE ADEQUATE BRACING AND SHORING FOR ALL WORK DURING THE CONSTRUCTION PERIOD.
14. ALL EXIT DOORS AND DOORS IN THE MEANS OF EGRESS SHALL BE SIDE HINGED AND SWING IN THE DIRECTION OF EXIT TRAVEL AND IF ANY LOCKING OR LATCHING DEVICE IS TO BE PROVIDED, ONLY APPROVED HARDWARE MAY BE USED.
15. SMOKE DETECTORS AND FIRE EXTINGUISHERS ARE TO BE INSTALLED PER THE REQUIREMENTS OF THE OCCUPANCY CHAPTER OF NFPA 101 LIFE SAFETY CODE.
16. ALL NOTES AND REFERENCES FOR ONE SECTION OR DETAIL APPLY TO ALL OTHERS WHEN LIKE OR SIMILAR CONDITIONS ARE EVIDENT.
17. ALL WOOD BLOCKING, PLYWOOD AND NAILERS SHALL BE PRESSURE TREATED, TYPICAL.
18. PREVENT CONTACT OF DISSIMILAR METALS BY PROVIDING AN AIR SPACE OR PHYSICAL BARRIER (i.e. 15# FELT).
19. PROVIDE CONT. CAULKING OR SEALANT IN CONTROL AND CONSTRUCTION JOINTS, AROUND PERIMETER OF METAL DOOR FRAMES, WHERE DISSIMILAR MATERIALS ABUT AND WHEREVER THE POTENTIAL FOR AIR OR MOISTURE INFILTRATION EXISTS. PROVIDE BACKER RODS WHERE SHOWN OR REQUIRED. FOLLOW ALL MANUFACTURER'S INSTRUCTIONS FOR SURFACE PREPARATION AND APPLICATION. COLORS SHALL MATCH ADJACENT FINISHES.
20. PROVIDE CONT. BLOCKING, AS REQUIRED, IN WALLS TO RECEIVE ACCESSORY ITEMS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
    HANDRAILS
    TOILET ROOM ACCESSORIES
    GRAB BARS
    FIRE EXTINGUISHER CABINETS & BRACKETS
21. CLEAN WALLS, DOORS, DOOR FRAMES, HANDRAILS, GUARDRAILS, ETC. PER MANUFACTURERS RECOMMENDATIONS PRIOR TO SEALING AND PAINTING.
22. VERIFY MEASUREMENTS WITH CORRESPONDING CONSTRUCTED OR EXISTING CONDITIONS PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY THE ARCHITECT IMMEDIATELY OF SIGNIFICANT DISCREPANCIES USING THE "CONSTRUCTION REQUEST FOR INFORMATION" FORM. PROVIDE SUPPLEMENTARY CONTRACTOR DETAILS AS REQUIRED.
23. CONCRETE TEST REPORTS SHALL BE AVAILABLE AT JOB SITE AT ALL TIMES.

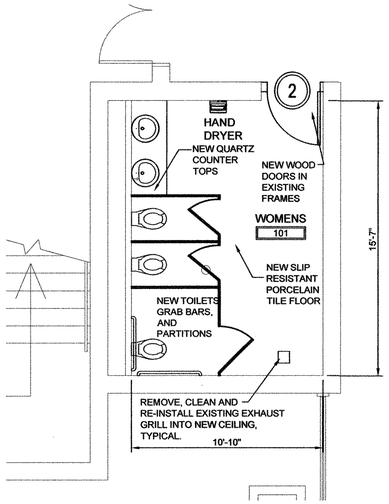
SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES PC No. 100637 CERTIFICATE OF AUTHORIZATION

STATE OF SOUTH CAROLINA KEVIN KOTELLOS Cumming, GA No. 8172 REGISTERED ARCHITECT 4/23/2013


JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET P.O. BOX 2103 AUGUSTA, GEORGIA 30903
TEL: (706) 724-5756 FAX: (706) 724-3955
WEBSITE: www.theJLAgroup.com
JLA Since 1980
Architects ● Engineers ● Landscape Architects ●

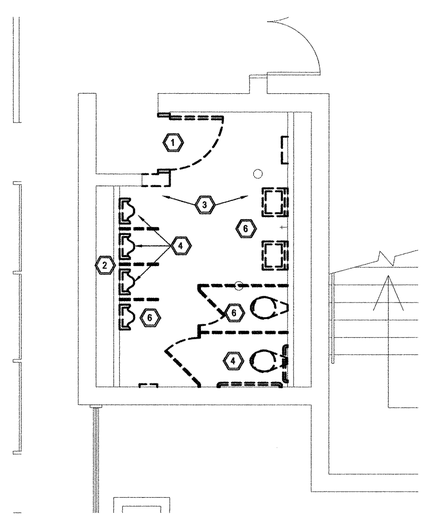


EXISTING / DEMO PLAN

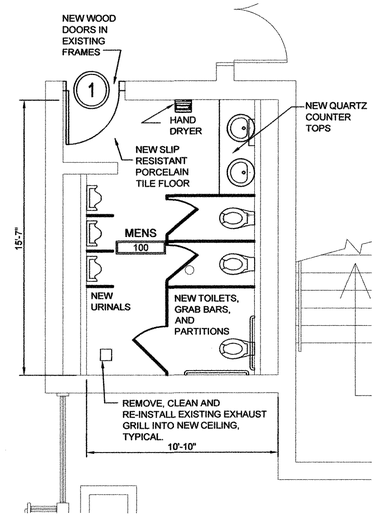



PROPOSED PLAN

1 A100 **WOMEN'S TOILET -NORTH**
SCALE: 1/4 " = 1'-0"

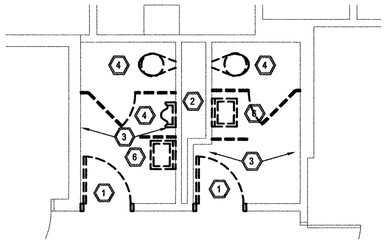


EXISTING/ DEMO PLAN

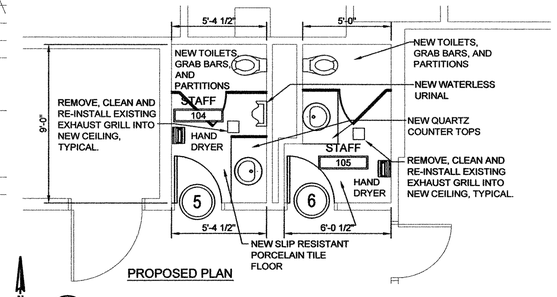



PROPOSED PLAN

2 A100 **MEN'S TOILET -NORTH**
SCALE: 1/4 " = 1'-0"

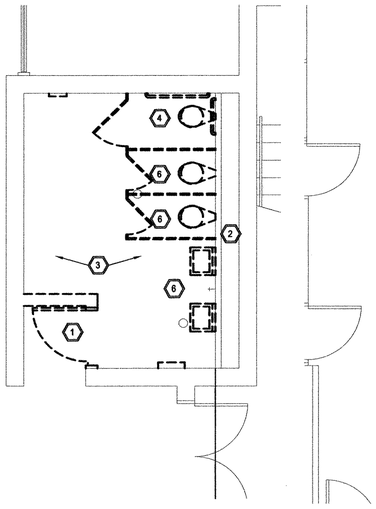


EXISTING/ DEMO PLAN

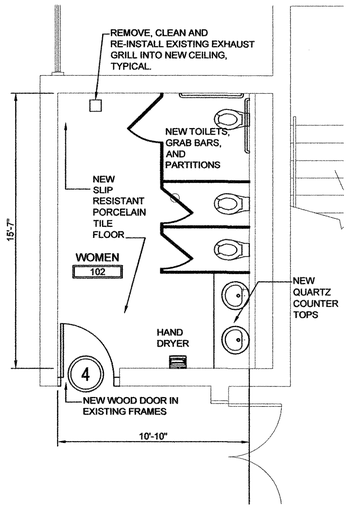



PROPOSED PLAN

3 A100 **STAFF TOILET**
SCALE: 1/4 " = 1'-0"

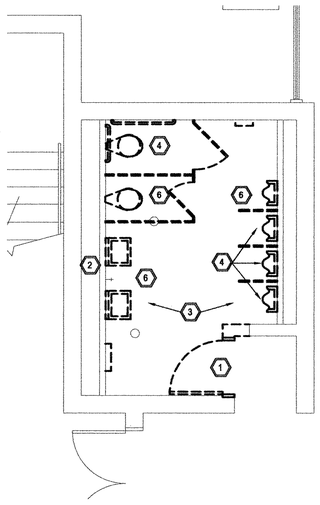


EXISTING / DEMO PLAN

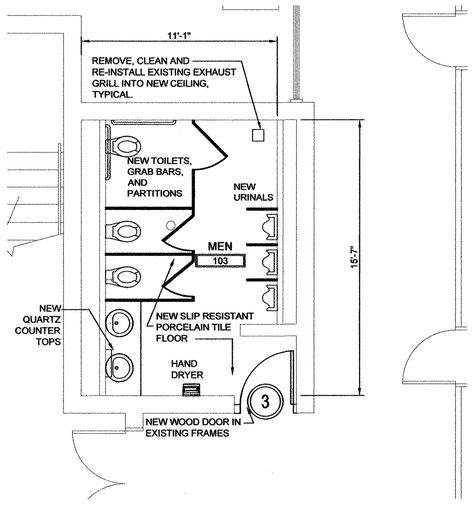



PROPOSED PLAN

4 A100 **WOMEN'S TOILET -SOUTH**
SCALE: 1/4 " = 1'-0"



EXISTING / DEMO PLAN




PROPOSED PLAN

5 A100 **MEN'S TOILET -SOUTH**
SCALE: 1/4 " = 1'-0"

**DEMOLITION NOTES:**

1. REMOVE EXISTING DOORS, PLUMBING FIXTURES, LIGHTS, CEILING GRID AND TILE AND STOCKPILE EXISTING MATERIALS TO BE REMOVED. COORDINATE SALVAGING, RECYCLING AND RE-USE W/ OWNER TYP.
2. REMOVE PORTION OF EXISTING FLOOR SLAB TO ALLOW FOR NEW INSTALLATION OF SAN SEWER LINE (IN CHASE) PROVIDE TERMITE TREATMENT & INSTALL NEW 15 MIL VAPOR BARRIER & NEW 3000 PSI, 4" THICK, CONCRETE SLAB DOWEL INTO EXISTING SLAB @ 12" O.C.
3. REMOVE ALL EXISTING FLOOR EPOXY FLOORING. GRIND DOWN EXISTING CONCRETE FLOOR SURFACE AS REQUIRED TO PREP FLOORS FOR INSTALLATION OF TILE AND BASE.

**PLUMBING DEMOLITION NOTES:**

4. REMOVE EXISTING PLUMBING FIXTURE. PREP AND REUSE EXISTING WASTE AND POTABLE WATER PIPING FOR NEW.
5. NOT USED.
6. REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED PIPING. CAP EXISTING PIPING BELOW FLOOR AND/OR IN PLUMBING CHASE. PATCH EXISTING FLOOR AND WALL PENETRATIONS. MATCH NEW FINISHES.

**ELECTRICAL DEMOLITION NOTES:**

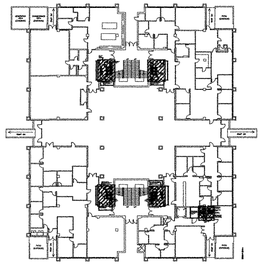
7. PRIOR TO DEMOLITION, VERIFY PROPER OPERATION OF ALL ELECTRICAL WIRING DEVICES AND LIGHTING. VERIFY PROPER OPERATION OF FIRE ALARM DEVICES. NOTE ANY DEFICIENCIES. IT IS OUR BELIEF THAT THERE ARE NO DEFICIENCIES.
8. REMOVE AND DISCARD ALL LUMINAIRES AND ASSOCIATED WIRING BACK TO NEAREST JUNCTION BOX.
9. REMOVE AND DISCARD ALL SWITCHES AND RECEPTACLES AND ASSOCIATED FACEPLATES. WIRING TO BE REUSED.
10. REMOVE ALL FIRE ALARM DEVICES AND STORE IN PROTECTED AREA FOR REINSTALLATION IN SAME LOCATION.

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES PC No. 100637 CERTIFICATE OF AUTHORIZATION

STATE OF SOUTH CAROLINA KEVIN KOTELOB Cumming, GA No. 8172 REGISTERED ARCHITECT 4/23/2013

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS



KEY PLAN

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 04/22/2013 | KK | ISSUED FOR BID |

REVISIONS

DRAWN BY: NKM DATE: 8/8/2012 CHECKED BY: KK DATE: 8/8/2012

CADFILE: JLA24x36.DWG REV: 10/27/07 CRE

JLA Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

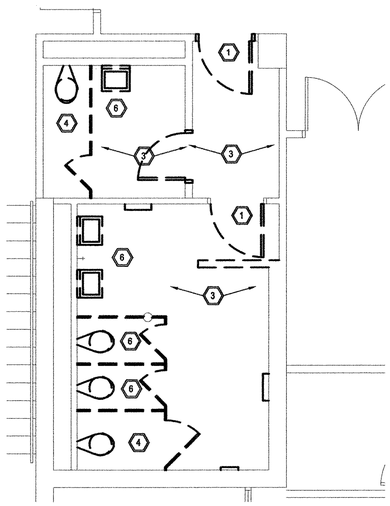
PENLAND BUILDING RESTROOM RENOVATIONS

**FIRST FLOOR RESTROOM PLANS**

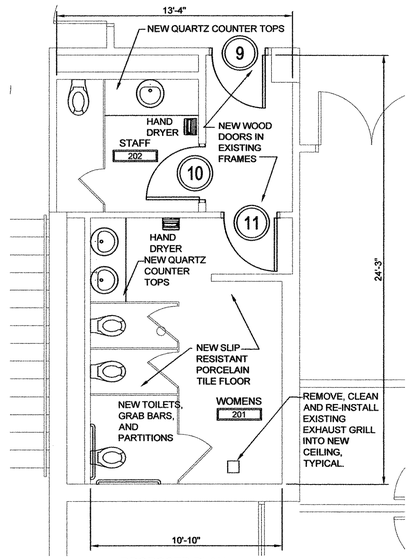
JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| 1/4"=1'-0" | 8/8/2012 | 6930.1202 | A100 | 0 |

K:\6930\1202\Arch\A100 FIRST FLOOR RESTROOM PLANS.dwg Plotted: 4/23/2013 11:36 AM By: Joseph Pearson



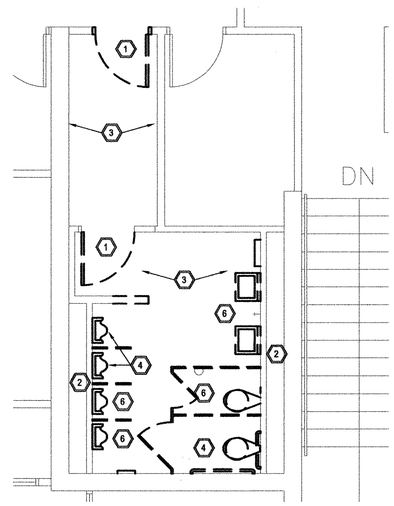
EXISTING / DEMO PLAN



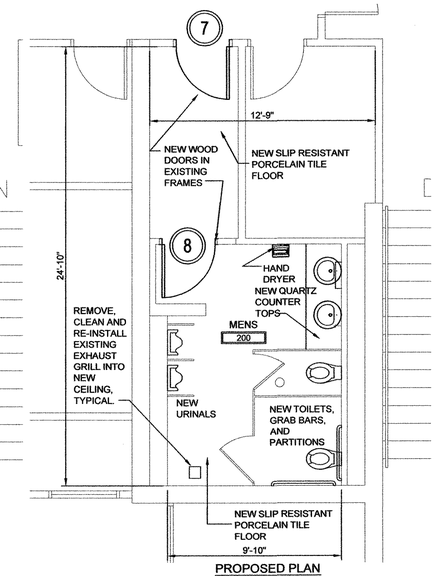

PROPOSED PLAN

## 1 A101 WOMEN'S TOILET -NORTH

SCALE: 1/4 " = 1'-0"




EXISTING/ DEMO PLAN




PROPOSED PLAN

## 2 A101 MEN'S TOILET -NORTH

SCALE: 1/4 " = 1'-0"

**DEMOLITION NOTES:**

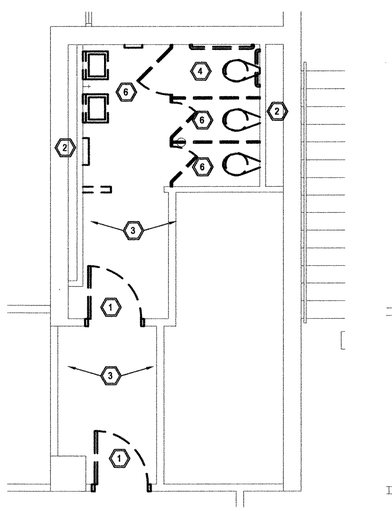
1. REMOVE EXISTING DOORS, PLUMBING FIXTURES, LIGHTS, CEILING GRID AND TILE AND STOCKPILE EXISTING MATERIALS TO BE REMOVED. COORDINATE SALVAGING, RECYCLING AND RE-USE W/ OWNER TYP.
2. REMOVE PORTION OF EXISTING FLOOR SLAB TO ALLOW FOR NEW INSTALLATION OF SAN SEWER LINE PROVIDE TERMITE TREATMENT & INSTALL NEW 15 MIL VAPOR BARRIER & NEW 3000 PSI, 4" THICK, CONCRETE SLAB DOWEL INTO EXISTING SLAB @ 12" O.C.
3. REMOVE ALL EXISTING FLOOR EPOXY FLOORING. GRIND DOWN EXISTING CONCRETE FLOOR SURFACE AS REQUIRED TO PREP FLOORS FOR INSTALLATION OF TILE AND BASE. ADJUST EXISTING FLOOR DRAIN TO ACCOMMODATE NEW FLOOR TILE.

**PLUMBING DEMOLITION NOTES:**

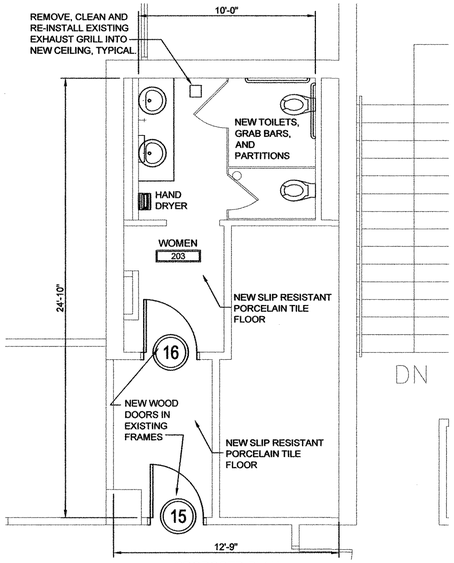
4. REMOVE EXISTING PLUMBING FIXTURE. PREP AND REUSE EXISTING WASTE AND POTABLE WATER PIPING FOR NEW.
5. NOT USED.
6. REMOVE EXISTING PLUMBING FIXTURE AND ASSOCIATED PIPING. CAP EXISTING PIPING BELOW FLOOR AND/OR IN PLUMBING CHASE. PATCH EXISTING FLOOR AND WALL PENETRATIONS. MATCH NEW FINISHES.

**ELECTRICAL DEMOLITION NOTES:**

7. PRIOR TO DEMOLITION, VERIFY PROPER OPERATION OF ALL ELECTRICAL WIRING DEVICES AND LIGHTING. VERIFY PROPER OPERATION OF FIRE ALARM DEVICES. NOTE ANY DEFICIENCIES. IT IS OUR BELIEF THAT THERE ARE NO DEFICIENCIES.
8. REMOVE AND DISCARD ALL LUMINAIRES AND ASSOCIATED WIRING BACK TO NEAREST JUNCTION BOX.
9. REMOVE AND DISCARD ALL SWITCHES AND RECEPTACLES AND ASSOCIATED FACEPLATES. WIRING TO BE REUSED.
10. REMOVE ALL FIRE ALARM DEVICES AND STORE IN PROTECTED AREA FOR REINSTALLATION IN SAME LOCATION.



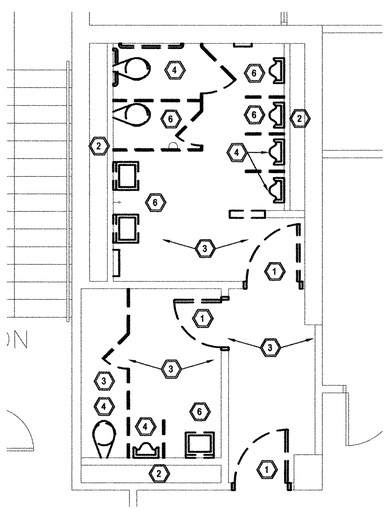
EXISTING / DEMO PLAN



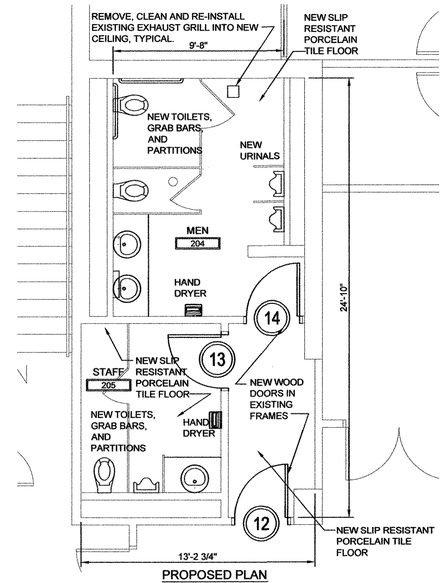

PROPOSED PLAN

## 3 A101 WOMEN'S TOILET -SOUTH

SCALE: 1/4 " = 1'-0"




EXISTING / DEMO PLAN



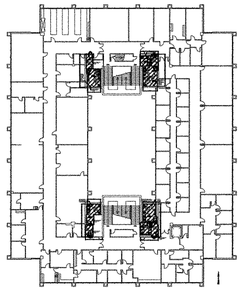

PROPOSED PLAN

## 4 A101 MEN'S TOILET -SOUTH

SCALE: 1/4 " = 1'-0"

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

NOTE: CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS



KEY PLAN

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 04/22/2013 | KK | ISSUED FOR BID |

REVISIONS

DRAWN BY: NKM DATE: 8/8/2012 CHECKED BY: KK DATE: 8/8/2012

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES PC No. 100637 CERTIFICATE OF AUTHORIZATION

STATE OF SOUTH CAROLINA KEVIN COTELLOS Cheraw, GA No. 8172 REGISTERED ARCHITECT 4/23/2013

JLA Since 1980
Architects • Engineers • Landscape Architects •
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

PENLAND BUILDING RESTROOM RENOVATIONS

**SECOND FLOOR RESTROOM PLANS**

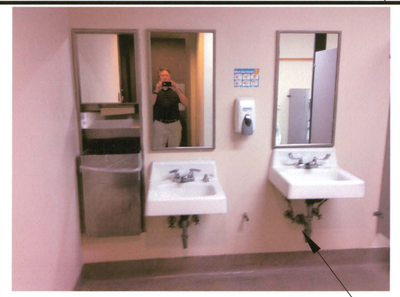
JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| 1/4"=1'-0" | 8/8/2012 | 6930.1202 | A101 | 0 |

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE

K:\6930\1202\Arch\A101 SECOND FLOOR RESTROOM PLANS.dwg Plotted: 4/23/2013 11:54 AM By: Joseph Pearson

REMOVE VCT AND EPOXY FLOORING AND REPLACE WITH SLIP RESISTANT HARD TILE

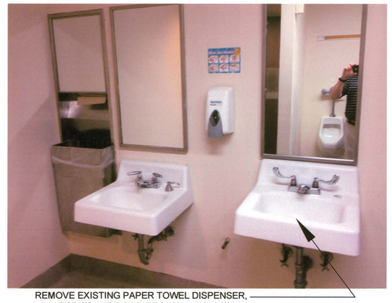


REMOVE EXISTING PAPER TOWEL DISPENSER, LAVATORIES, MIRRORS, ETC, TO ALLOW FOR INSTALLATION OF NEW FIXTURES. PATCH WALLS AND PREP TO RECEIVE NEW WALL SURFACES

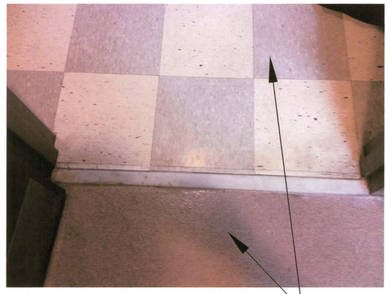
EXISTING URINALS TO BE REMOVED. CAP EXISTING WATER LINE, CONNECT EXISTING WASTE LINE TO NEW WATERLESS URINALS, TYP.

REMOVE EXISTING WALL HEATER, ABANDON EXISTING ELECTRICAL SERVICE. PATCH AND REPAIR WALL WALL TO RECIVE NEW WALL TREATMENT OF TILE.

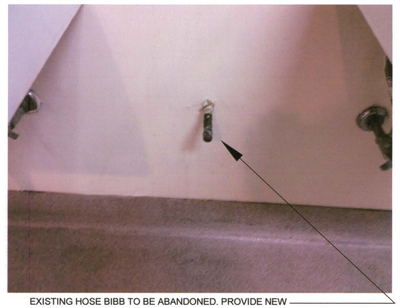
REMOVE EXISTING TOILET, GRAB BARS, TOILET PARTITIONS. PREP WALLS AND FLOOR IFOR INSTALLATION OF NEW WALL AND FLOOR SURFACES.



REMOVE EXISTING PAPER TOWEL DISPENSER, LAVATORIES, MIRRORS, ETC, TO ALLOW FOR INSTALLATION OF NEW FIXTURES. PATCH WALLS AND PREP TO RECEIVE NEW WALL SURFACES



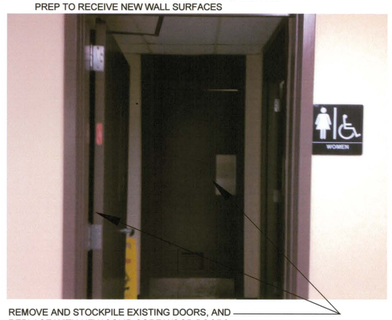
REMOVE VCT AND EPOXY FLOORING AND REPLACE WITH SLIP RESISTANT HARD TILE



EXISTING HOSE BIBB TO BE ABANDONED. PROVIDE NEW HOSE BIBB SEE PLUMBING PLANS.

REMOVE VCT AND EPOXY FLOORING AND REPLACE WITH SLIP RESISTANT HARD TILE

REMOVE EXISTING LIGHTING OVER LAVATORIES. PREP WALL TO RECEIVE NEW LIGHT FIXTURE AND PATCH AND REPAIR WALL TO RECIVE NEW TILE AND WALL COVERING

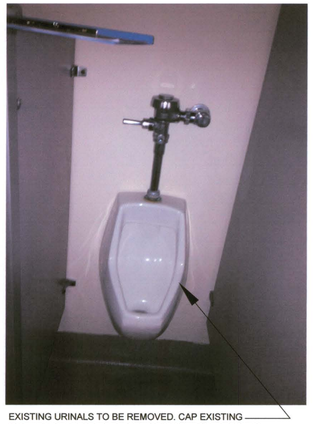


REMOVE AND STOCKPILE EXISTING DOORS, AND REPLACE WITH NEW SOLID CORE WOOD DOORS

REMOVE EXISTING PAPER TOWEL DISPENSER, LAVATORIES, MIRRORS, ETC, TO ALLOW FOR INSTALLATION OF NEW FIXTURES. PATCH WALLS AND PREP TO RECEIVE NEW WALL SURFACES

REMOVE EXISTING CEILING, LIGHTING AND FIRE ALARM DEVICES, AND RE INSTALL FIRE ALARM DEVICES INTO NEW CEILING, VERIFY PROPER WORKING CONDITION PRIOR TO REINSTALLATION

REMOVE AND STOCKPILE EXISTING DOORS, AND REPLACE WITH NEW SOLID CORE WOOD DOORS. PREP EXISTING DOOR FRAMES AND SOLID TRANSOMS TO REMAIN TO ALLOW FOR SMOOTH APPLICATION OF NEW PAINT



EXISTING URINALS TO BE REMOVED. CAP EXISTING WATER LINE, CONNECT EXISTING WASTE LINE TO NEW WATERLESS URINALS, TYP.

REMOVE VCT AND EPOXY FLOORING AND REPLACE WITH SLIP RESISTANT HARD TILE

REMOVE EXISTING TOILET PARTITIONS, RESTROOM SIGNAGE AND FIXTURES TO ALLOW FOR INSTALLTION OF NEW ITEMS, TYPICAL.

1 A102 EXISTING RESTROOMS
SCALE: NTS

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 1/16/2013 | KK | ISSUED FOR BID |

REVISIONS

DRAWN BY: NKM DATE: 8/8/2012 CHECKED BY: KK DATE: 8/8/2012

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES PC No. 100037 CERTIFICATE OF AUTHORIZATION

STATE OF SOUTH CAROLINA KEVIN KOTELLOS Augusta, GA No. 8172 REGISTERED ARCHITECT

4/23/2013

JLA Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

PENLAND BUILDING RESTROOM RENOVATIONS

**PHOTOGRAPHS OF EXISTING RESTROOMS**

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| 1/4"=1'-0" | 8/8/2012 | 6930.1202 | A102 | 0 |

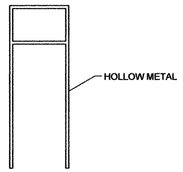
J:\69301202\Arch\A102 PHOTOGRAPHIC AS BUILTS.dwg Plotted: 4/23/2013 11:40 AM By: Joseph Pearson

## ROOM FINISH SCHEDULE

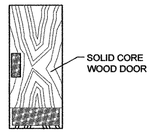
| NO. | NAME | FLOOR | WALL | BASE | CEILING | COMMENTS |
|---|---|---|---|---|---|---|
| 100 | MEN | TILE | TILE/WALL COVERING | TILE | 9'-0" ACT | |
| 101 | WOMEN | TILE | TILE/WALL COVERING | TILE | 9'-0" ACT | |
| 102 | WOMEN | TILE | TILE/WALL COVERING | TILE | 9'-0" ACT | |
| 103 | MEN | TILE | TILE/WALL COVERING | TILE | 9'-0" ACT | |
| 104 | STAFF | TILE | TILE/WALL COVERING | TILE | 9'-0" ACT | |
| 105 | STAFF | TILE | TILE/WALL COVERING | TILE | 9'-0" ACT | |
| 200 | MEN | TILE | TILE/WALL COVERING | TILE | 8'-0" ACT | |
| 201 | WOMEN | TILE | TILE/WALL COVERING | TILE | 8'-0" ACT | |
| 202 | STAFF | TILE | TILE/WALL COVERING | TILE | 8'-0" ACT | |
| 203 | WOMEN | TILE | TILE/WALL COVERING | TILE | 8'-0" ACT | |
| 204 | MEN | TILE | TILE/WALL COVERING | TILE | 8'-0" ACT | |
| 205 | STAFF | TILE | TILE/WALL COVERING | TILE | 8'-0" ACT | |

## DOOR SCHEDULE

| DR. NO. | ELEV. | FRAME | SIZE | MAT'L. TYPE | REMARK |
|---|---|---|---|---|---|
| FIRST FLOOR PLAN | | | | | |
| 1 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | EXISTING FRAME TO BE RELOCATED, REUSED WITH NEW DOOR |
| 2 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | EXISTING FRAME TO BE RELOCATED, REUSED WITH NEW DOOR |
| 3 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | EXISTING FRAME TO BE RELOCATED, REUSED WITH NEW DOOR |
| 4 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | EXISTING FRAME TO BE RELOCATED, REUSED WITH NEW DOOR |
| 5 | D2 | EXISTING | 3' x 7' | SOLID CORE WOOD | EXISTING FRAME REUSED WITH NEW DOOR |
| 6 | D2 | EXISTING | 3' x 7' | SOLID CORE WOOD | EXISTING FRAME REUSED WITH NEW DOOR |
| 7 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 8 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 9 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 10 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 11 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 12 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 13 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 14 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 15 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |
| 16 | D1 | EXISTING | 3' x 7' | SOLID CORE WOOD | |




DOOR FRAME-EXISTING
SCALE: 1/4"=1'-0"



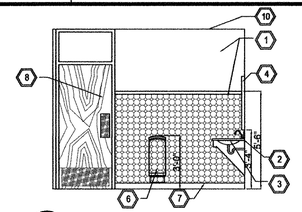

D1
DOOR ELEVATION
SCALE: 1/4"=1'-0"

NOTES:

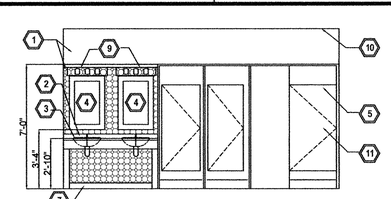
1. ALL FRAMES AND TRANSOMS SHALL BE PRIMED AND RECEIVE 2 COATS FIELD PAINT. FINAL COAT HIGH GLOSS ENAMEL.
2. SOLID CORE WOOD DOORS SHALL BE WDMA IS.1A PERFORMANCE GRADE: EXTRA HEAVY DUTY, WITH GRADE: PREMIUM GRADE AA FACES, FACTORY PREMIUM GRADE TRANSPARENT FINISH, SPECIES WALNUT, CUT: MATCH BETWEEN VENEER LEAVES: BOOK

EACH DOOR TO RECEIVE:

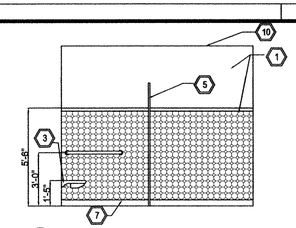
| | | | |
|---|---|---|---|
| STANLEY | 3 EA | BUTTS | FBB179 4.5 X 4.5 X US26D |
| ROCKWOOD | 1 EA | KICK PLATE | 8" X 34" X 630 X .050 |
| ROCKWOOD | 1 EA | WALL STOP | 409 X 630 |
| ROCKWOOD | 3 EA | SILENCERS | 608 |
| ROCKWOOD | 1 EA | PULL | T112, 630 |
| ROCKWOOD | 2 EA | PUSH PLATES | 70RCE, 630 |
| FALCON | 1 EA | DOOR CLOSER | SC70-3049DS, DEAD STOP HOLD OPEN ARM |



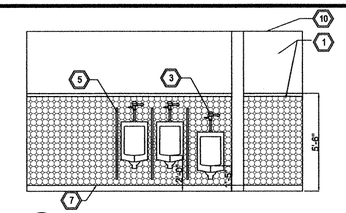
1 A200 INTERIOR ELEVATION- MENS 100
SCALE: 1/4"=1'-0"



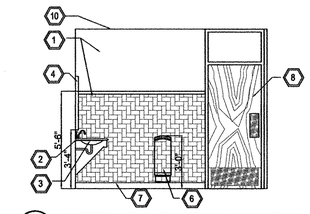
2 A200 INTERIOR ELEVATION- MENS 100
SCALE: 1/4"=1'-0"



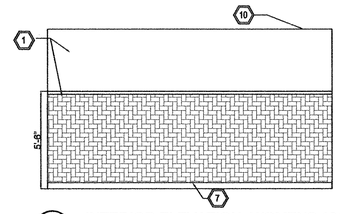
3 A200 INTERIOR ELEVATION- MENS 100
SCALE: 1/4"=1'-0"



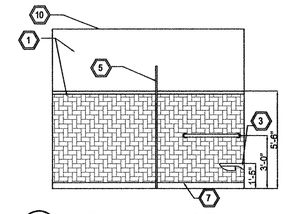
4 A200 INTERIOR ELEVATION- MENS 100
SCALE: 1/4"=1'-0"



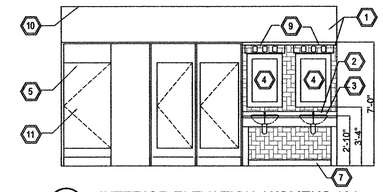
1 A200 INTERIOR ELEVATION- WOMENS 101
SCALE: 1/4"=1'-0"



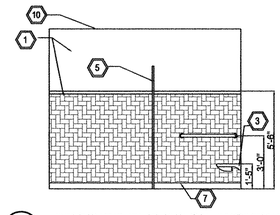
2 A200 INTERIOR ELEVATION- WOMENS 101
SCALE: 1/4"=1'-0"



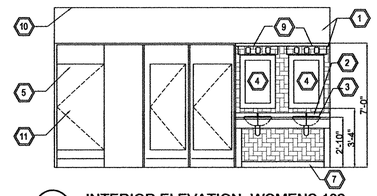
3 A200 INTERIOR ELEVATION- WOMENS
SCALE: 1/4"=1'-0"



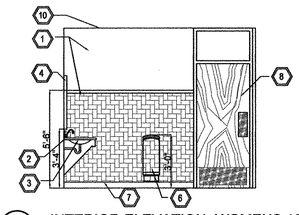
4 A200 INTERIOR ELEVATION- WOMENS 101
SCALE: 1/4"=1'-0"



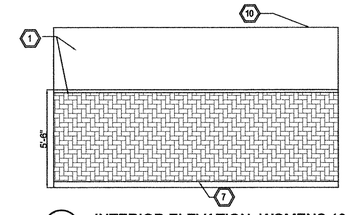
1 A200 INTERIOR ELEVATION- WOMENS 102
SCALE: 1/4"=1'-0"



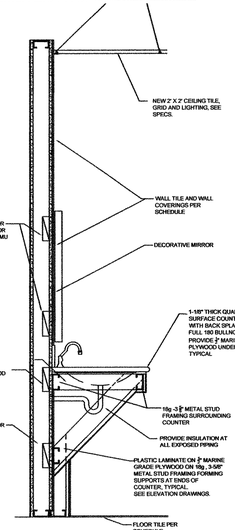
2 A200 INTERIOR ELEVATION- WOMENS 102
SCALE: 1/4"=1'-0"



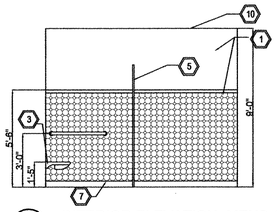
3 A200 INTERIOR ELEVATION- WOMENS 102
SCALE: 1/4"=1'-0"



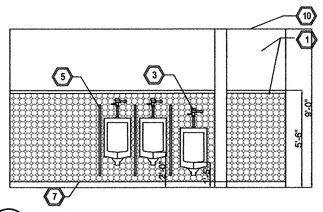
4 A200 INTERIOR ELEVATION- WOMENS 102
SCALE: 1/4"=1'-0"



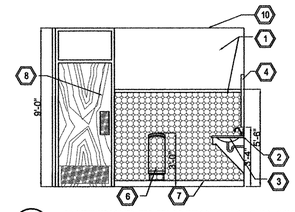

1 A200 SECTION
SCALE: 3/4"=1'-0"



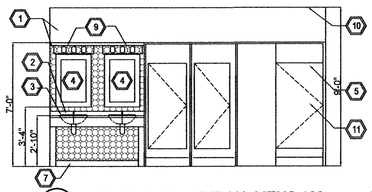
1 A200 INTERIOR ELEVATION- MENS 103
SCALE: 1/4"=1'-0"



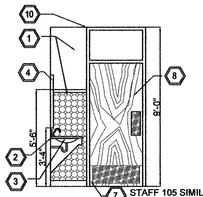
2 A200 INTERIOR ELEVATION- MENS 103
SCALE: 1/4"=1'-0"



3 A200 INTERIOR ELEVATION- MENS 103
SCALE: 1/4"=1'-0"

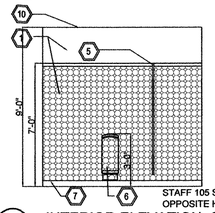


4 A200 INTERIOR ELEVATION- MENS 103
SCALE: 1/4"=1'-0"



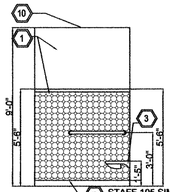
STAFF 105 SIMILAR
OPPOSITE HAND

3 A200 INTERIOR ELEVATION- STAFF 104
SCALE: 1/4"=1'-0"



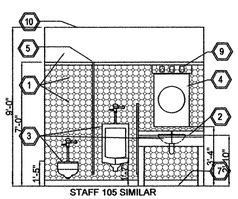
STAFF 105 SIMILAR
OPPOSITE HAND

4 A200 INTERIOR ELEVATION- STAFF 104
SCALE: 1/4"=1'-0"



STAFF 105 SIMILAR
OPPOSITE HAND

1 A200 INTERIOR ELEVATION- STAFF 104
SCALE: 1/4"=1'-0"



STAFF 105 SIMILAR
OPPOSITE HAND

2 A200 INTERIOR ELEVATION- STAFF 104
SCALE: 1/4"=1'-0"

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

**KEYED NOTES:**

1. NEW WALL TILE WITH WALL COVERING ABOVE. PREP WALLS, REPAIR AS REQUIRED AFTER DEMOLITION TO ACCOMMODATE NEW INSTALLATIONS.
2. NEW QUARTZ COUNTER TOP WITH MARINE GRADE PLYWOOD SUBSTRATE ON METAL STUD FRAMING. ANCHOR FRAMING TO WALLS AND SUPPORT KNEE BRACES, TYP. SEE SECTION ON A200.
3. NEW TOILET ROOM FIXTURES TYPICAL, TOILETS, UNDERMOUNT LAVATORIES, AND WATERLESS URINALS. SEE PLUMBING AND DEMOLITION PLANS.
4. NEW DECORATIVE MIRRORS, SECURELY ANCHOR TO CMU OR STUD WALL, TYPICAL.
5. NEW TOILET PARTITIONS AND URINAL SCREENS, TYPICAL, PROVIDE SHOP DRAWINGS FOR REVIEW.
6. NEW HAND DRYER, TYPICAL. SUBMIT SHOP DRAWINGS FOR REVIEW.
7. NEW FLOOR TILE AND BASE, SLIP RESISTANT, ADJUST HEIGHT OF EXISTING FLOOR DRAINS TO ACCOMMODATE NEW FLOOR TILE.
8. NEW SOLID CORE FACTORY FINISHED WOOD DOORS IN EXISTING METAL FRAME, TYPICAL. PROVIDE NEW HARDWARE FOR DOORS AS SCHEDULED. SUBMIT SHOP DRAWINGS FOR REVIEW.
9. NEW DECORATIVE LIGHT FIXTURE ABOVE MIRRORS TO REPLACE EXISTING. PATCH AND REPAIR WALL AS REQUIRED TO ALLOW FOR INSTALLATION OF NEW FIXTURE.
10. NEW CEILING AND LIGHTING AT SAME HEIGHT AS EXISTING CEILING AND LIGHTING TO BE REMOVED. 9'-0" AFF AT FIRST FLOOR, 8'-0" AFF AT SECOND FLOOR.
11. EXTEND WALL TILE ON WALLS WITH TOILET PARTITIONS

**WOMENS RESTROOM FINISHES**

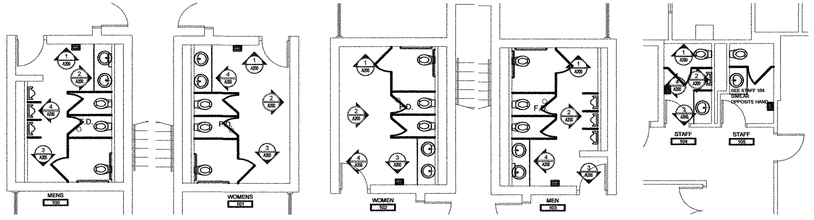
**WALL COVERING**: CONCERTEX - ZENDO TAHREA
COLOR ZT033 VISTA GREEN
**WALL TILE**: DALTILE WALL TILE
COLOR: ARCHITECTURAL GRAY
**COUNTER TOPS**: DUPONT ZODIAQ
COLOR: ASTRAL PEARL
**TOILET PARTITIONS**: HADRIAN
239 GRAY (SOLID PLASTIC)
**FLOOR TILE**: DALTILE TIMBER GLEN
COLOR: THATCH P615

**MENS RESTROOM FINISHES**

**WALL COVERING**: CONCERTEX - RAPHIA AZTEC
COLOR : CARAMEL
**WALL TILE**: DALTILE WALL TILE
COLOR: ALMOND
**COUNTER TOPS**: DUPONT ZODIAQ
COLOR: SAVORY
**TOILET PARTITIONS**: HADRIAN
255 MOCHA (SOLID PLASTIC)
**FLOOR TILE**: DALTILE FABRIQUE
COLOR: SOLEIL LINEN P687

SOUTH CAROLINA
JOHNSON, LASCHOBER & ASSOCIATES PC
No. 100037
CERTIFICATE OF AUTHORIZATION

STATE OF SOUTH CAROLINA
KEVIN KOTELLOS
Cumming, GA
No. 8172
REGISTERED ARCHITECT
4/23/2013




10 A200 KEY PLANS
SCALE: NTS

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 04/22/2013 | KK | ISSUED FOR BID |

REVISIONS

DRAWN BY: NKM DATE: 8/8/2012 CHECKED BY: KK DATE: 8/8/2012

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE

JLA Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

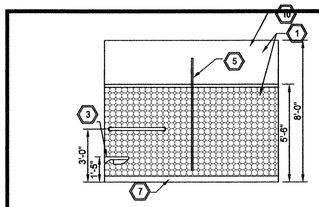
PENLAND BUILDING RESTROOM RENOVATIONS

**INTERIOR ELEVATIONS, SCHEDULES**

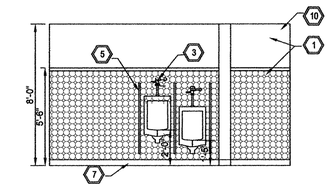
JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| AS SHOWN | 8/8/2012 | 6930.1202 | A200 | 0 |

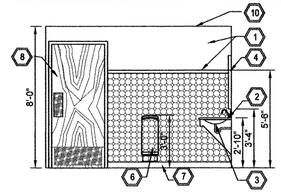
K:\69301202\Arch\A200 INTERIOR ELEVATIONS.dwg Plotted: 4/23/2013 11:55 AM By: Joseph Pearson



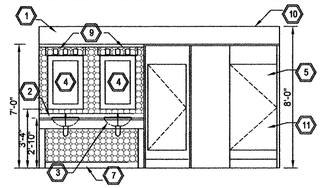
1 A201 INTERIOR ELEVATION- MENS 200
SCALE: 1/4"=1'-0"



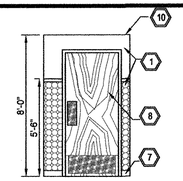
2 A201 INTERIOR ELEVATION- MENS 200
SCALE: 1/4"=1'-0"



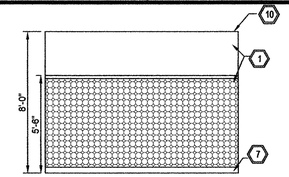
3 A201 INTERIOR ELEVATION- MENS 200
SCALE: 1/4"=1'-0"



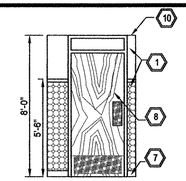
4 A201 INTERIOR ELEVATION- MENS 200
SCALE: 1/4"=1'-0"



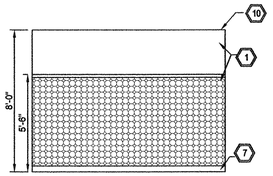
1 A201 INTERIOR ELEVATION- MENS 200
SCALE: 1/4"=1'-0"



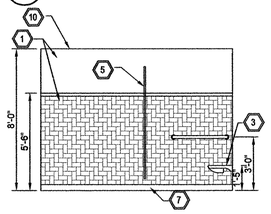
2 A201 INTERIOR ELEVATION- MENS 200
SCALE: 1/4"=1'-0"



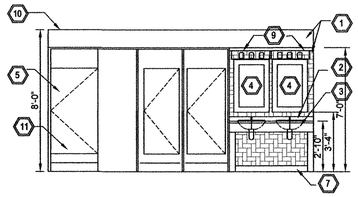
3 A201 INTERIOR ELEVATION- MENS 200
SCALE: 1/4"=1'-0"



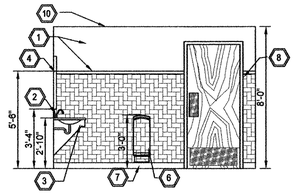
4 A201 INTERIOR ELEVATION- MENS 200
SCALE: 1/4"=1'-0"



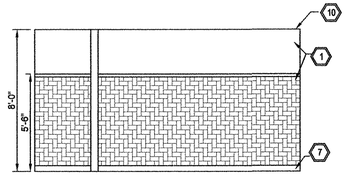
1 A201 INTERIOR ELEVATION- WOMENS 201
SCALE: 1/4"=1'-0"



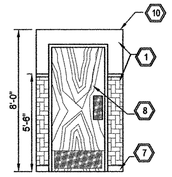
2 A201 INTERIOR ELEVATION- WOMENS 201
SCALE: 1/4"=1'-0"



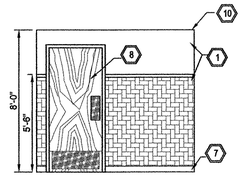
3 A201 INTERIOR ELEVATION- WOMENS 201
SCALE: 1/4"=1'-0"



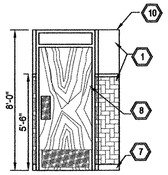
4 A201 INTERIOR ELEVATION- WOMENS 201
SCALE: 1/4"=1'-0"



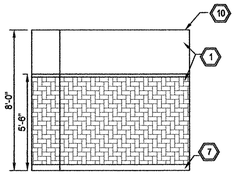
1 A201 INTERIOR ELEVATION- WOMENS 201
SCALE: 1/4"=1'-0"



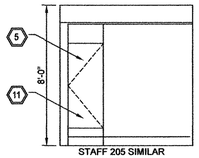
2 A201 INTERIOR ELEVATION- WOMENS 201
SCALE: 1/4"=1'-0"



3 A201 INTERIOR ELEVATION- WOMENS 201
SCALE: 1/4"=1'-0"

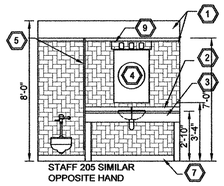


4 A201 INTERIOR ELEVATION- WOMENS 201
SCALE: 1/4"=1'-0"



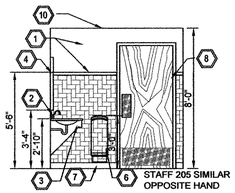
STAFF 205 SIMILAR
OPPOSITE HAND

1 A201 INTERIOR ELEVATION- STAFF 202
SCALE: 1/4"=1'-0"



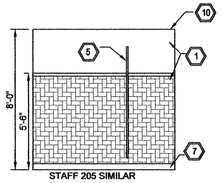
STAFF 205 SIMILAR
OPPOSITE HAND

2 A201 INTERIOR ELEVATION- STAFF 202
SCALE: 1/4"=1'-0"



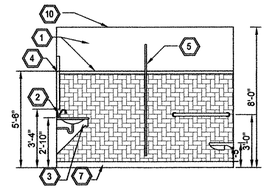
STAFF 205 SIMILAR
OPPOSITE HAND

3 A201 INTERIOR ELEVATION- STAFF 202
SCALE: 1/4"=1'-0"

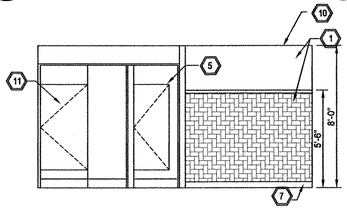


STAFF 205 SIMILAR
OPPOSITE HAND

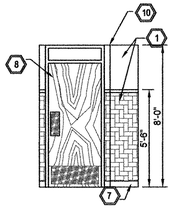
4 A201 INTERIOR ELEVATION- STAFF 202
SCALE: 1/4"=1'-0"



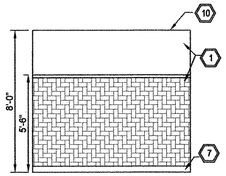
1 A201 INTERIOR ELEVATION- WOMENS 203
SCALE: 1/4"=1'-0"



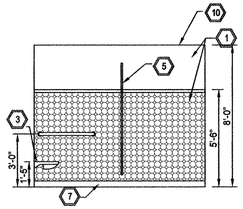
2 A201 INTERIOR ELEVATION- WOMENS 203
SCALE: 1/4"=1'-0"



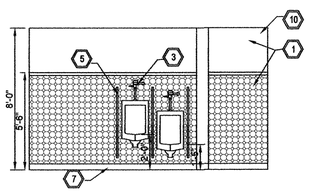
3 A201 INTERIOR ELEVATION- WOMENS 203
SCALE: 1/4"=1'-0"



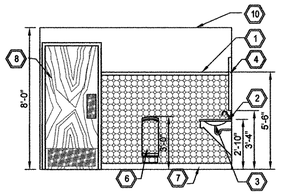
4 A201 INTERIOR ELEVATION- WOMENS 203
SCALE: 1/4"=1'-0"



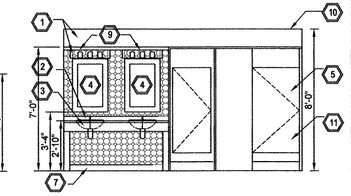
1 A201 INTERIOR ELEVATION- MENS 204
SCALE: 1/4"=1'-0"



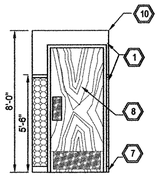
2 A201 INTERIOR ELEVATION- MENS 204
SCALE: 1/4"=1'-0"



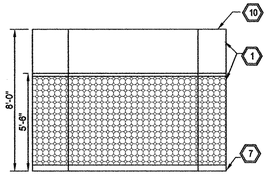
3 A201 INTERIOR ELEVATION- MENS 204
SCALE: 1/4"=1'-0"



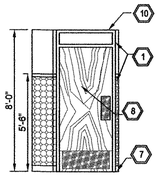
4 A201 INTERIOR ELEVATION- MENS 204
SCALE: 1/4"=1'-0"



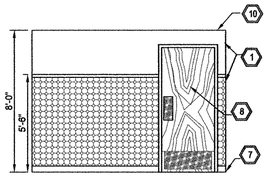
1 A201 INTERIOR ELEVATION- MENS 204
SCALE: 1/4"=1'-0"



2 A201 INTERIOR ELEVATION- MENS 204
SCALE: 1/4"=1'-0"



3 A201 INTERIOR ELEVATION- MENS 204
SCALE: 1/4"=1'-0"

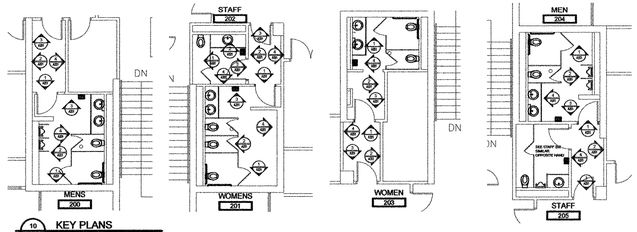


4 A201 INTERIOR ELEVATION- MENS 204
SCALE: 1/4"=1'-0"

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

**KEYED NOTES:**

1. NEW WALL TILE WITH WALL COVERING ABOVE. PREP WALLS, REPAIR AS REQUIRED AFTER DEMOLITION TO ACCOMMODATE NEW INSTALLATIONS.
2. NEW QUARTZ COUNTER TOP WITH MARINE GRADE PLYWOOD SUBSTRATE ON METAL STUD FRAMING. ANCHOR FRAMING TO WALLS AND SUPPORT KNEE BRACES, TYP. SEE SECTION ON A200.
3. NEW TOILET ROOM FIXTURES TYPICAL, TOILETS, UNDERMOUNT LAVATORIES, AND WATERLESS URINALS. SEE PLUMBING AND DEMOLITION PLANS.
4. NEW DECORATIVE MIRRORS, SECURELY ANCHOR TO CMU OR STUD WALL, TYPICAL.
5. NEW TOILET PARTITIONS AND URINAL SCREENS, TYPICAL, PROVIDE SHOP DRAWINGS FOR REVIEW.
6. NEW HAND DRYER, TYPICAL. SUBMIT SHOP DRAWINGS FOR REVIEW.
7. NEW FLOOR TILE AND BASE, SLIP RESISTANT, ADJUST HEIGHT OF EXISTING FLOOR DRAINS TO ACCOMMODATE NEW FLOOR TILE.
8. NEW SOLID CORE FACTORY FINISHED WOOD DOORS IN EXISTING METAL FRAME, TYPICAL. PROVIDE NEW HARDWARE FOR DOORS AS SCHEDULED. SUBMIT SHOP DRAWINGS FOR REVIEW.
9. NEW DECORATIVE LIGHT FIXTURE ABOVE MIRRORS TO REPLACE EXISTING. PATCH AND REPAIR WALL AS REQUIRED TO ALLOW FOR INSTALLATION OF NEW FIXTURE.
10. NEW CEILING AND LIGHTING AT SAME HEIGHT AS EXISTING CEILING AND LIGHTING TO BE REMOVED. 9'-0" AFF AT FIRST FLOOR, 8'-0" AFF AT SECOND FLOOR.
11. EXTEND WALL TILE ON WALLS WITH TOILET PARTITIONS




10 A201 KEY PLANS
SCALE: NTS

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 04/22/2013 | KK | ISSUED FOR BID |

REVISIONS

DRAWN BY: NKM DATE: 8/8/2012 CHECKED BY: KK DATE: 8/8/2012

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES PC No. 1008837 CERTIFICATE OF AUTHORIZATION

STATE OF SOUTH CAROLINA KEVIN KOTELLOS Columbia, GA No. 8172 REGISTERED ARCHITECT 4/23/2013

JLA Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

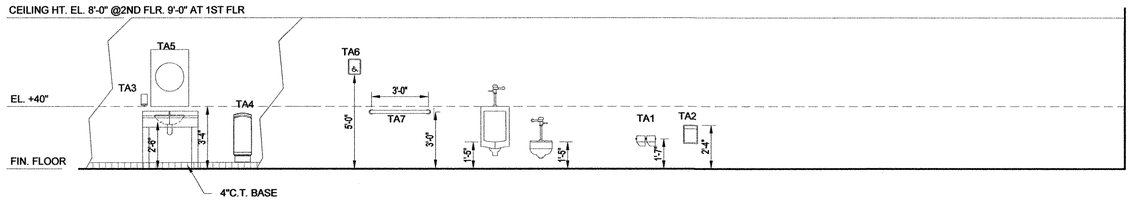
PENLAND BUILDING RESTROOM RENOVATIONS

**INTERIOR ELEVATIONS**

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

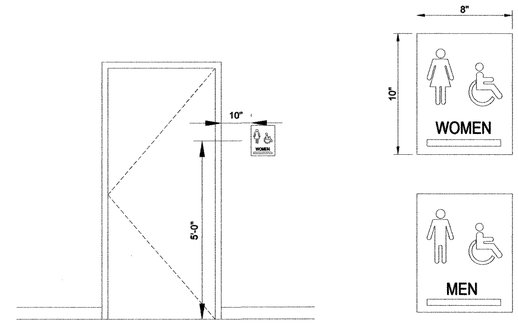
| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| AS SHOWN | 8/8/2012 | 6930.1202 | A201 | 0 |

K:\69301202\Arch\A201 INTERIOR ELEVATIONS.dwg Plotted: 4/23/2013 11:56 AM By: Joseph Pearson




## RESTROOM ELEVATIONS

SCALE: 1/4" 1'-0"




SIGN CHARACTERS & BACKGROUND SHALL BE EGGSHELL, MATTE, OR OTHER NON-GLARE FINISH.

PROVIDE WHITE LETTERS & CHARACTERS ON BROWN BACKGROUND FOR CONTRAST AS REQ'D BY ADA.

LETTERS & NUMBERS SHALL BE 1" HIGH UPPER CASE SANS SERIF OR SIMPLE SERIF FONT. RAISED 1/32" & SHALL BE ACCOMPANIED BY GRADE 2 BRAILLE.

NOTES:

1. PROVIDE (1) SIGN AT EACH TOILET ROOM (STAFF), (MEN) AND (WOMEN), RESTROOM
2. ATTACH SIGN USING (4) FOUR FLATHEAD WOOD SCREWS, COUNTERSUNK, & ADHESIVE.

EXPOSED PIPES AND SURFACES OF HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE CONFIGURED TO PROTECT AGAINST CONTACT. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES. RULE 120-3.20-.30(4) GEORGIA ACCESSIBILITY CODE.

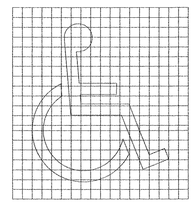
SIGNAGE FOR RESTROOMS SHALL BE RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGNS. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" A.F.F. TO THE CENTERLINE OF THE SIGN. 120-3-20-.41(4).(5).(6) GEORGIA ACCESSIBILITY CODE.

## TOILET ACCESSORIES SCHEDULE

| MARK | DESCRIPTION | BRADLEY NUMBER |
|---|---|---|
| TA1 | TOILET PAPER DUAL ROLL | 5224 |
| TA2 | SANITARY NAPKIN DISPOSAL | 4781-15 |
| TA3 | SOAP DISPENSER | 6542 |
| TA4 | HAND DRYER | MITSUBISHI ELECTRIC CORP. JET TOWEL HAND DRYER JT-SB116EH-G-UL |
| TA5 | FIXED MIRROR | DECORATIVE MIRROR * |
| TA6 | ADA COMPLIANT SIGN OF ACCESSIBILITY | ——— |
| TA7 | GRAB BAR (S.S.) | 812-4-001 |
| | | |

S.S. - #4 SATIN FINISH STAINLESS STEEL

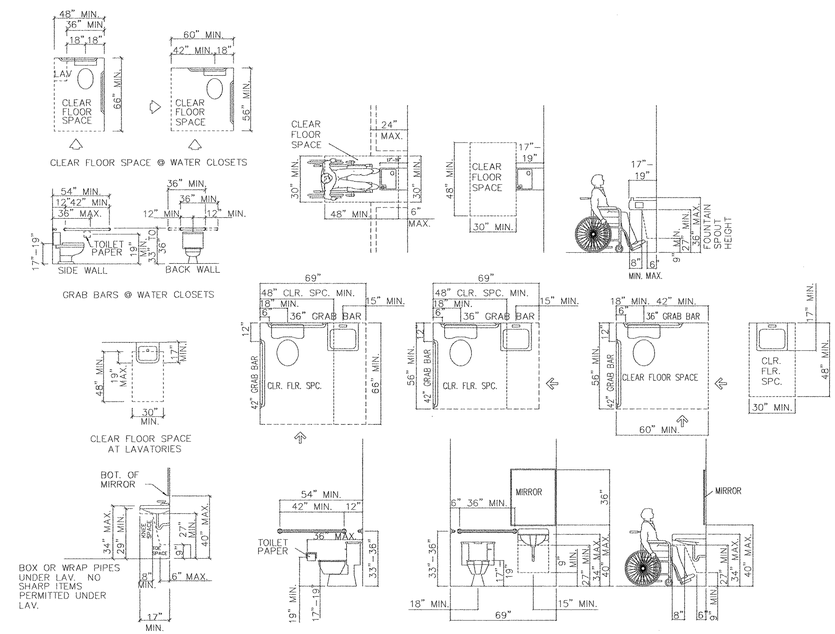
* DECORATIVE MIRRORS BY classymirrors.com
PROVIDE 14- NATURAL WOOD MIRRORS, 24 X 36, ITEM NUMBER JES 2010 FOR ALL PUBLIC RESTROOMS
PROVIDE 4- STENNIS WOOD MIRRORS, 24 X 36, ITEM NUMBER JES 2012 FOR STAFF RESTROOMS.
PROVIDE SECURE MOUNTING HARDWARE FOR MOUNTING IN GYP BD STUD WALL OR CMU WALL, TYPICAL.



PER ADA AND ANSI 117.1
RAISED AND BRAILLE CHARACTERS AND PICTORIAL SYMBOL SIGNS:
LETTERS AND NUMERALS SHALL BE RAISED 1/32 INCH, UPPERCASE, SANS SERIF OR SIMPLE SERIF TYPE AND SHALL BE ACCOMPANIED WITH GRADE 2 BRAILLE. RAISED CHARACTERS SHALL BE AT LEAST 5/8 INCH (16MM) HIGH, BUT NO HIGHER THAN 2 INCHES (50 MM). PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE BORDER DIMENTSION OF THE PICTOGRAM SHALL BE 6 INCHES (152 MM) MINIMUM HEIGHT.

FINISH AND CONTRAST:
THE CHARACTERS AND BACKGROUND OF SIGNS SHALL BE EGGSHELL, MATTE, OR OTHER NON GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND – EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.

MOUNTING AND LOCATION HEIGHT:
WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR. WHERE THERE IS NO WALL SPACE TO THE LATCH SIDE OF THE DOOR, INCLUDING DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60 INCHES (1525 MM) ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION FOR SUCH SIGNAGE SHALL BE SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR.




## ADA DETAILS & CLEARANCES

NO SCALE

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES PC No. 100637 CERTIFICATE OF AUTHORIZATION

STATE OF SOUTH CAROLINA KEVIN KOTELLOS Cumming, GA No. 8172 REGISTERED ARCHITECT

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 4/22/2013 | KK | ISSUED FOR BID |

REVISIONS

DRAWN BY: NKM DATE: 8/8/2012 CHECKED BY: KK DATE: 8/8/2012

CADFILE JLA24x36.DWG REV 10/27/07 CRE

Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

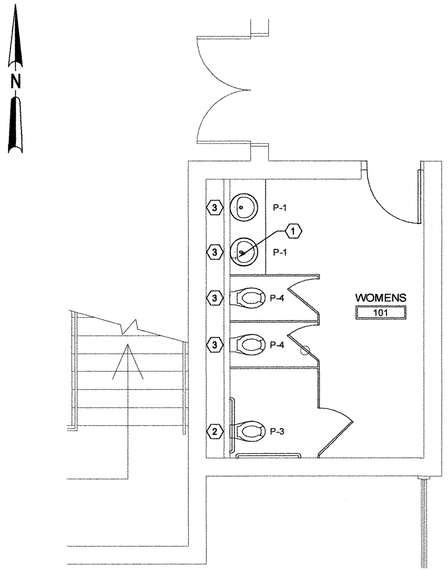
PENLAND BUILDING RESTROOM RENOVATIONS

**ADA DETAILS**

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

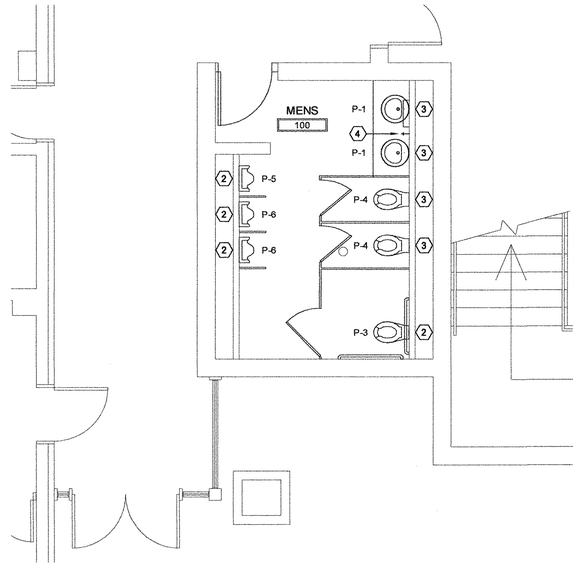
| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| SCALE | 8/8/2012 | 6930.1202 | A401 | 0 |

K:\69301202\Arch\A401 ADA DETAILS.dwg Plotted: 4/23/2013 1:52 PM By: Joseph Pearson



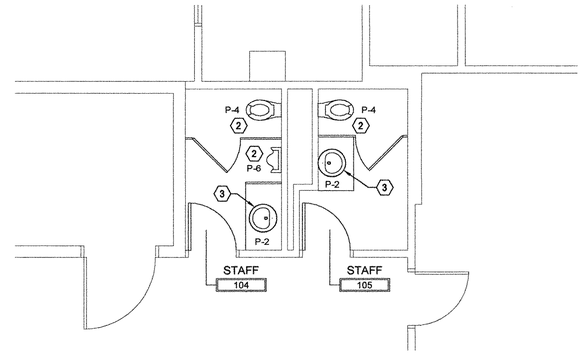

PLUMBING PLAN
WOMEN'S TOILET - NORTH

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"



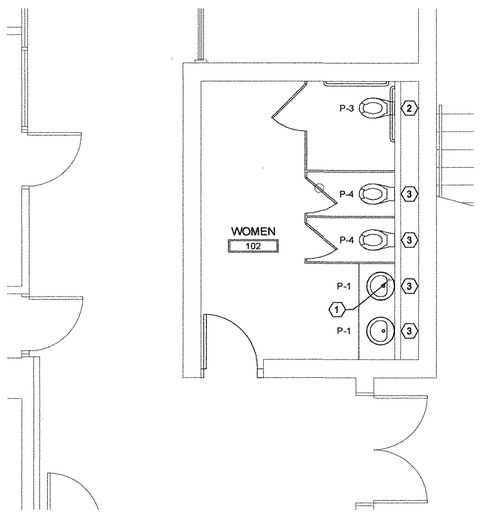

PLUMBING PLAN
MEN'S TOILET - NORTH

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"



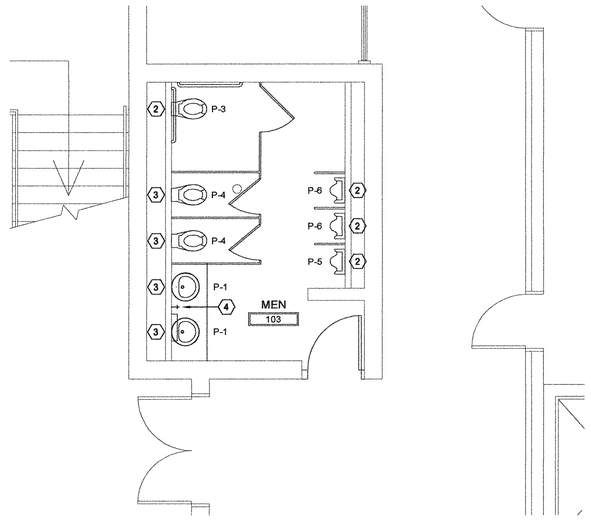

PLUMBING PLAN
STAFF TOILET

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"




PLUMBING PLAN
WOMEN'S TOILET - SOUTH

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"




PLUMBING PLAN
MEN'S TOILET - SOUTH

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"

## FIRST FLOOR PLUMBING NOTES:

1. - REPLACE EXISTING HOSE BIBB w/ NEW 1/2" HOSE BIBB (UNDER COUNTER) SEE PLUMBING FIXTURE SCHEDULE LOCATED ON DRAWING P200
2. - INSTALL NEW PLUMBING FIXTURE. REUSE EXISTING WASTE, VENT AND POTABLE WATER PIPING IF POSSIBLE. (CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS) SEE PLUMBING FIXTURE SCHEDULE LOCATED ON DRAWING P200
3. - INSTALL NEW PLUMBING FIXTURE. TIE INTO EXISTING WASTE, VENT AND POTABLE WATER PIPING. (CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS) SEE PLUMBING FIXTURE SCHEDULE LOCATED ON DRAWING P200
4. - INSTALL NEW 1/2" HOSE BIBB (UNDER COUNTER) TIE INTO EXISTING POTABLE WATER PIPING. (CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS) SEE PLUMBING FIXTURE SCHEDULE LOCATED ON DRAWING P200

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 04/22/2013 | CVW | ISSUED FOR BID |

REVISIONS

| DRAWN BY: | WBR | DATE: | 08/08/2012 | CHECKED BY: | CVW | DATE: | 08/10/2012 |
|---|---|---|---|---|---|---|---|

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE

JOHNSON, LASCHOBER & ASSOCIATES, PC
No. C00700
CERTIFICATE OF AUTHORIZATION
SOUTH CAROLINA

SOUTH CAROLINA
No. 25329
CURTIS V. WILLIAMSON
4/22/13

Since 1980
Architects ●
Engineers ●
Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

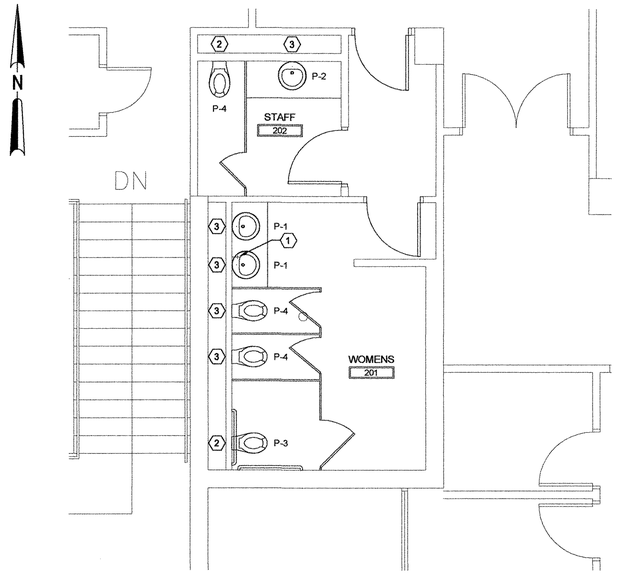
PENLAND BUILDING RESTROOM RENOVATIONS

# FIRST FLOOR PLUMBING PLANS

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

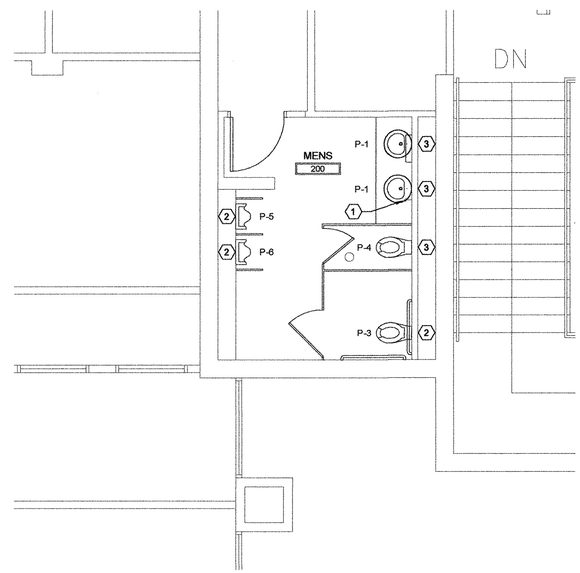
| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| 1/4"=1'-0" | 8/8/2012 | 6930.1202 | P100 | 0 |

K:\69301202\Mech\P_FIRST.dwg Plotted: 4/23/2013 10:12 AM By: Ben Rucker



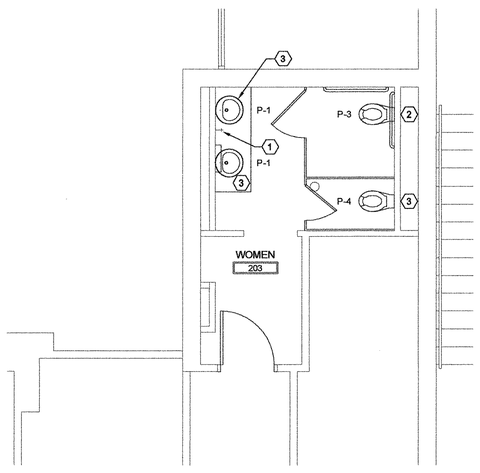

PLUMBING PLAN
WOMEN'S TOILET - NORTH

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"



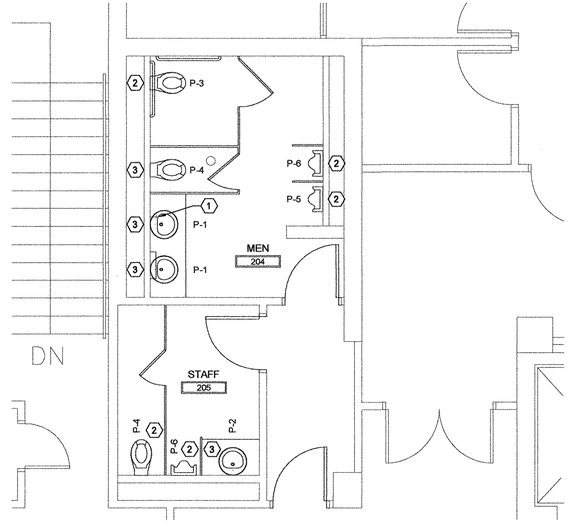

PLUMBING PLAN
MEN'S TOILET - NORTH

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"




PLUMBING PLAN
WOMEN'S TOILET - SOUTH

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"




PLUMBING PLAN
MEN'S TOILET - SOUTH

0 .5 1 2 4 8 12 FT.
SCALE: 1/4"=1'-0"

## SECOND FLOOR PLUMBING NOTES:

1. - REPLACE EXISTING HOSE BIBB w/ NEW 1/2" HOSE BIBB (UNDER COUNTER) SEE PLUMBING FIXTURE SCHEDULE LOCATED ON DRAWING P200
2. - INSTALL NEW PLUMBING FIXTURE. REUSE EXISTING WASTE, VENT AND POTABLE WATER PIPING IF POSSIBLE. (CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS) SEE PLUMBING FIXTURE SCHEDULE LOCATED ON DRAWING P200
3. - INSTALL NEW PLUMBING FIXTURE. TIE INTO EXISTING WASTE, VENT AND POTABLE WATER PIPING. (CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS) SEE PLUMBING FIXTURE SCHEDULE LOCATED ON DRAWING P200

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 04/22/2013 | CVW | ISSUED FOR BID |

REVISIONS

DRAWN BY: WBR DATE: 08/08/2012 CHECKED BY: CVW DATE: 08/10/2012

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES, P.C. No. C00700 CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA No. 25829 CURTIS V. WILLIAMSON

4/22/13

Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

PENLAND BUILDING RESTROOM RENOVATIONS
**SECOND FLOOR PLUMBING PLANS**

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| 1/4"=1'-0" | 8/8/2012 | 6930.1202 | P101 | 0 |

K:\69301202\Mech\P_SECOND.dwg Plotted: 4/23/2013 10:12 AM By: Ben Rucker

## PLUMBING FIXTURE SCHEDULE

| MARK | FIXTURE | NOM. PIPE, INCHES CW | HW | W | V | DESCRIPTION |
|---|---|---|---|---|---|---|
| P-1 | UNDERCOUNTER LAVATORY (H.C.) | 1/2" | 1/2" | 2" | 1 1/2" | AMERICAN STANDARD 0630.000 ACCESSIBLE LAVATORY, SLOAN ETF-610-4-B-BDT SENSOR FAUCET, EL-248-40 TRANSFORMER, GRID DRAIN, ANGLE STOPS, & 3/8" SUPPLIES, PLUMBEREX HANDY-SHIELD MODEL 2003 (SEE ELECTRICAL PLANS FOR TRANSFORMER QUANTITY AND LOCATIONS) |
| P-2 | UNDERCOUNTER LAVATORY | 1/2" | 1/2" | 2" | 1 1/2" | AMERICAN STANDARD 0630.000 LAVATORY, SLOAN ETF-610-4-B-BDT SENSOR FAUCET, EL-248-40 TRANSFORMER, GRID DRAIN, ANGLE STOPS, & 3/8" SUPPLIES (SEE ELECTRICAL PLANS FOR TRANSFORMER QUANTITY AND LOCATIONS) |
| P-3 | WALL-MOUNTED WATER CLOSET (H.C.) (SENSOR VALVE) | 1" | - | 4" | 2" | AMERICAN STANDARD 3351.001 ACCESSIBLE TOILET w/ CHURCH 295C & SLOAN ECOS 111-1.6/1.1 DUAL FLUSH SENSOR FLUSH VALVE, 1.6 GAL. AND 1.1 GAL. FLUSH CYCLES. PROVIDE SLOAN EL-451 TRANSFORMER. (SEE ELECTRICAL PLANS FOR TRANSFORMER QUANTITY AND LOCATIONS) THRU BOLT WATER CLOSET INTO CMU WALL OR PROVIDE CARRIER |
| P-4 | WALL-MOUNTED WATER CLOSET (SENSOR VALVE) | 1" | - | 4" | 2" | AMERICAN STANDARD 3351.001 TOILET w/ CHURCH 295C & SLOAN ECOS 111-1.6/1.1 DUAL FLUSH SENSOR FLUSH VALVE, 1.6 GAL. AND 1.1 GAL. FLUSH CYCLES. PROVIDE SLOAN EL-451 TRANSFORMER. (SEE ELECTRICAL PLANS FOR TRANSFORMER QUANTITY AND LOCATIONS) THRU BOLT WATER CLOSET INTO CMU WALL OR PROVIDE CARRIER |
| P-5 | URINAL (H.C.) | 3/4" | - | 2" | 2" | AMERICAN STANDARD MODEL WASHBROOK FLOWISE 6590.001 w/ SLOAN ECOS 186-0.125 HIGH EFFICIENCY 3/4" SENSOR FLUSH VALVE & SLOAN EL-451 TRANSFORMER. (SEE ELECTRICAL PLANS FOR TRANSFORMER QUANTITY AND LOCATIONS) |
| P-6 | URINAL | 3/4" | - | 2" | 2" | AMERICAN STANDARD MODEL WASHBROOK FLOWISE 6590.001 w/ SLOAN ECOS 186-0.125 HIGH EFFICIENCY 3/4" SENSOR FLUSH VALVE & SLOAN EL-451 TRANSFORMER. (SEE ELECTRICAL PLANS FOR TRANSFORMER QUANTITY AND LOCATIONS) |
| HB | HOSE BIBB | 1/2" | - | - | - | WOODFORD MODEL B24P-1/2 w/ BOX |

NOTES:
1. ALL FIXTURES, FITTINGS, AND TRIM TO COMPLY WITH THE LATEST REVISION OF THE AMERICAN DISABILITIES ACT, WHERE APPLICABLE.
2. SUPPORT URINALS w/ WALL HANGERS AND THRU BOLTS.
3. RIM HEIGHT SHALL COMPLY w/ ADA REQUIREMENTS AND STANDARD MANUFACTURER RECOMMENDED INSTALLATION HEIGHTS FOR NON-ADA FIXTURES.
4. PLUMBING CONTRACTOR TO COORDINATE w/ COUNTER TOP CONTRACTOR BEFORE ORDERING SINKS.

## HANGERS & SUPPORTS

SPACING: DO NOT EXCEED THE FOLLOWING SPACING, ON CENTERS

| PIPE SIZE | SCH. 40 PVC | COPPER | STEEL | HANGER ROD DIA. |
|---|---|---|---|---|
| 1/2" - 3/4" | 4 FT. | 5 FT. | 7 FT. | 1/4" |
| 1" | 4 FT. | 6 FT. | 7 FT. | 1/4" |
| 1 1/2" | 4 FT. | 6 FT. | 9 FT. | 3/8" |
| 2" | 4 FT. | 8 FT. | 10 FT. | 3/8" |
| 2 1/2" | 4 FT. | 9 FT. | 11 FT. | 3/8" |
| 3" | 4 FT. | 10 FT. | 12 FT. | 3/8" |
| 4" | 4 FT. | 10 FT. | 12 FT. | 1/2" |

## WATER HAMMER ARRESTER SCHEDULE

| SYMBOL | FIXTURE UNIT RATING |
|---|---|
| PDI "A" | 1-11 |
| PDI "B" | 12-32 |
| PDI "C" | 33-60 |
| PDI "D" | 61-113 |
| PDI "E" | 114-154 |
| PDI "F" | 155-330 |

NOTE:
USE METAL-BELLOWS TYPE WITH PRESSURIZED METAL CUSHIONING CHAMBER, COMPLYING WITH STANDARD P.D.I. WH-201.

## PLUMBING GENERAL NOTES:

ALL WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING, BUT NOT LIMITED TO; 2006 INTERNATIONAL PLUMBING CODE w/ AMENDMENTS, 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND ALL ADA AMENDMENTS.

EXACT LOCATIONS AND ROUGHING REQUIREMENTS FOR ALL FIXTURES AND EQUIPMENT SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS, LARGE SCALE ARCHITECTURAL DETAILS, AND APPROVED MANUFACTURER'S SHOP DRAWINGS. PARTICULAR ATTENTION SHALL BE DIRECTED TO FIXTURES OR EQUIPMENT FURNISHED UNDER OTHER DIVISIONS.

INSTALL TEST TEES WHEN THE SYSTEM IS TO BE TESTED IN SECTIONS.

PIPING IS SHOWN IN ITS GENERAL LOCATION (UNLESS DIMENSIONED). EXACT LOCATION SHALL BE DETERMINED BY JOB CONDITIONS. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF HIS WORK WITH THAT OF OTHER TRADES AND ARRANGE PIPING TO CLEAR STRUCTURAL MEMBERS AND DUCTWORK. EXACT LOCATIONS SHALL BE PROVIDED ON "AS-BUILT" DRAWINGS.

MINIMUM SIZE WATER LINE FOR THREE OR MORE FIXTURES SHALL BE 3/4". REFER TO PLUMBING FIXTURE SCHEDULE FOR INDIVIDUAL RUNOUT SIZES.

ALL PIPING TO BE CONCEALED IN A WALL, CEILING, OR A CHASE UNLESS OTHERWISE NOTED. PIPING SHOWN OUT OF CHASES FOR CLARITY.

PROVIDE SLEEVES FOR PIPES PASSING THRU FLOORS, MASONRY WALLS AND FIRE OR SMOKE PARTITIONS. PACK MINERAL WOOL IN ANNULAR SPACE BETWEEN PIPE SLEEVE.

REFER TO ARCHITECTURAL DRAWINGS FOR EXACT FIXTURE MOUNTING HEIGHTS. ALL ACCESSIBLE FIXTURES SHALL COMPLY WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

PLUMBING FIXTURES TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

ARRANGEMENTS OF WORK SHALL BE AS SHOWN. DRAWINGS ARE NOT INTENDED TO INDICATE ALL OFFSETS AND FITTINGS. EXAMINE ALL DRAWINGS, INVESTIGATE CONDITIONS TO BE ENCOUNTERED AND ARRANGE WORK ACCORDINGLY; FURNISH ALL FITTINGS AND OFFSETS.

MEASUREMENT OF DRAWINGS BY SCALE SHALL NOT BE USED AS DIMENSIONS FOR FABRICATION. MEASUREMENTS FOR LOCATING FIXTURES, EQUIPMENT, DUCTWORK, PIPING AND ACCESSORIES SHALL BE MADE ON THE SITE AND SHALL BE BASED ON ACTUAL JOB CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEASUREMENTS WHERE THE CONTRACTOR PREFABRICATES ANY WORK BASED ON THE DRAWINGS WITHOUT VERIFYING ACTUAL JOB CONDITIONS, THEN THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL COST INVOLVED IN MAKING CHANGES TO PREFABRICATED WORK WHERE CONFLICTS OCCUR.

ARRANGE FOR CHASES, SLOTS, AND OPENINGS IN OTHER BUILDING COMPONENTS DURING PROGRESS OF CONSTRUCTION, TO ALLOW FOR INSTALLATIONS.

INSTALL SYSTEMS, MATERIALS, AND EQUIPMENT LEVEL, PLUMB, PARALLEL, AND PERPENDICULAR TO OTHER BUILDING SYSTEMS AND COMPONENTS.

COPPER PIPING SHALL NOT BE INSTALLED IN DIRECT CONTACT WITH MASONRY, CEMENT MORTAR, CONCRETE, OR DISSIMILAR METALS. PLUMBING CONTRACTOR TO PROVIDE SLEEVES AND COORDINATE w/ GENERAL CONTRACTOR DURING SLAB INSTALLATION.

CUTTING AND REPAIRING: THE PLUMBING CONTRACTOR SHALL DO ALL CUTTING AND REPAIRING OF WALLS, FLOORS, CEILINGS, ETC. NECESSARY FOR THE INSTALLATION OF THE WORK BUT HE SHALL NOT CUT INTO ANY STRUCTURAL MEMBER WITHOUT THE PERMISSION OF THE ARCHITECT.

ALL SOIL, DRAIN, WASTE AND VENT PIPING SHALL BE SCHEDULE 40 PVC-DWV WITH SOLVENT WELD JOINTS, CONFORMING TO ASTM D 2665 AND ASTM D 2466. IN AREAS WITH RETURN AIR PLENUM ABOVE THE CEILING, TRANSITION VENTS BELOW CEILING FROM PVC TO CAST IRON WITH NO-HUB JOINTS. EXTEND CAST IRON VENT THROUGH ROOF. PVC IS NOT ALLOWED IN RETURN AIR PLENUM SPACES.

ALL COLD WATER AND HOT WATER SUPPLY PIPING ABOVE GROUND SHALL BE HARD DRAWN COPPER TUBING COMPLYING WITH ASTM B 88. TUBING INSTALLED UNDERGROUND OR UNDER FLOOR SLAB SHALL BE TYPE "K" SOFT TEMPER. NO JOINTS UNDER FLOOR SLABS WILL PER PERMITTED. TUBING INSTALLED ABOVE GROUND SHALL BE TYPE "L" HARD DRAWN COPPER TUBING.

FLASHING: ALL PIPES PASSING THROUGH THE ROOF SHALL BE FLASHED WITH VENT FLASHING COMPATIBLE WITH THE ROOFING.

PROVIDE SHOCK ABSORBERS AS REQUIRED.

PLUMBING CONTRACTOR TO PROVIDE PROPER SEPARATION BETWEEN WATER SUPPLY AND WASTE/SANITARY PIPING PER 2006 INTERNATIONAL PLUMBING CODE.

PLUMBING CONTRACTOR TO PROVIDE PREPRINTED 1/2" HIGH LETTERED LABELS FOR THE FOLLOWING:
INTERIOR MAIN SHUT-OFF VALVE, POTABLE WATER SUPPLY PIPING, & HOT WATER PIPING. LABELS SHOULD BE MOUNTED EVERY 20'-0" ON HORIZONTAL RUNS.

PLUMBING CONTRACTOR TO PROVIDE ACCESS PANELS FOR ALL INACCESSIBLE, ABOVE CEILING VALVES AND EQUIPMENT. COORDINATE LOCATIONS WITH ARCHITECT.

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 04/22/2013 | CVW | ISSUED FOR BID |

REVISIONS

DRAWN BY: WBR DATE: 08/08/2012 CHECKED BY: CVW DATE: 08/10/2012

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE

JOHNSON, LASCHOBER & ASSOCIATES, PC No. C00756 — CERTIFICATE OF AUTHORIZATION — SOUTH CAROLINA

STATE OF GEORGIA — REGISTERED PROFESSIONAL ENGINEER — No. 25829 — CURTIS V. WILLIAMSON

4/22/13

JLA Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

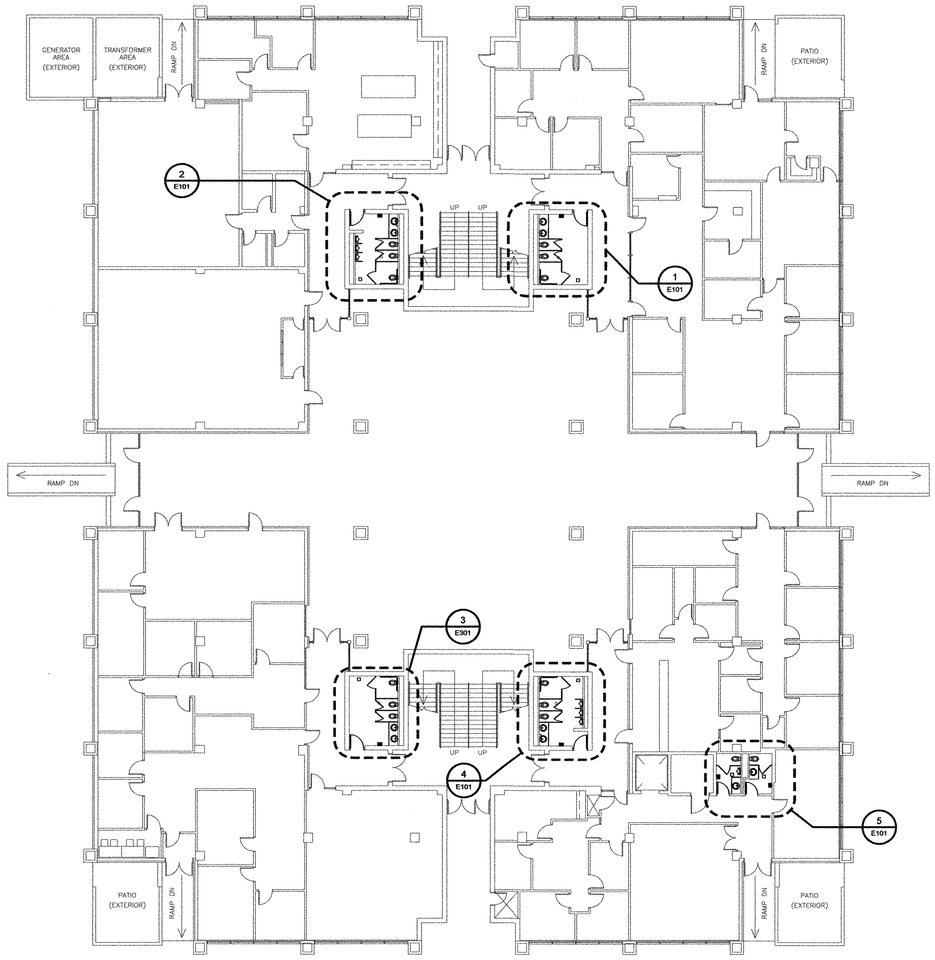
PENLAND BUILDING RESTROOM RENOVATIONS

**PLUMBING SCHEDULES, NOTES AND DETAILS**

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| NO SCALE | 8/8/2012 | 6930.1202 | P200 | 0 |

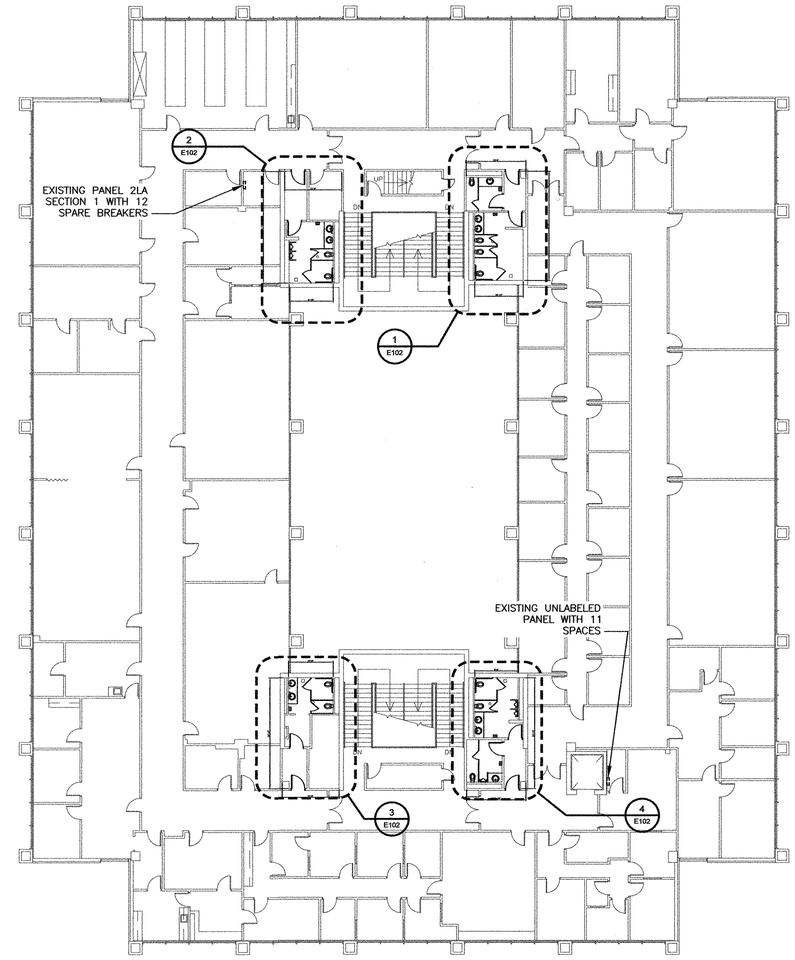
K:\69301202\Mech\P_DETAILS.dwg Plotted: 4/23/2013 10:13 AM By: Ben Rucker




## OVERALL ELECTRICAL PLAN
## FIRST FLOOR

0 2 4 8 16 32 48 FT.

SCALE: 1/16"=1'-0"




## OVERALL ELECTRICAL PLAN
## SECOND FLOOR

0 2 4 8 16 32 48 FT.

SCALE: 1/16"=1'-0"

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 4/22/2013 | RBS | ISSUED FOR BID |

REVISIONS

DRAWN BY: MWH DATE: 08/08/2012 CHECKED BY: RBS DATE: 08/10/2012

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES, PC No. C00790 CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER No. 30385 4/22/2013 MATTHEW WARD HURLEY

Since 1980

Architects ● Engineers ● Landscape Architects ●

www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

PENLAND BUILDING RESTROOM RENOVATIONS

**ELECTRICAL OVERALL PLAN**

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| 1/4"=1'-0" | 8/8/2012 | 6930.1202 | E100 | 0 |

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE

K:\69301202\Elec\E_OVERALL.dwg Plotted: 4/23/2013 1:32 PM By:Matthew Hurley, P.E., RCDD

## GENERAL NOTES

1. ALL WORK SHALL CONFORM TO THE 2011 EDITION OF THE N.E.C.
2. COORDINATE OUTLET LOCATIONS WITH ARCHITECTURAL PLANS, ELEVATIONS AND DETAILS.
3. COORDINATE HVAC AND PLUMBING EQUIPMENT LOCATIONS WITH MECHANICAL PLANS, ELEVATIONS AND DETAILS.
4. CONSULT MANUFACTURERS' SHOP DRAWINGS FOR REQUIREMENTS AND EXACT LOCATION OF ELECTRICAL CONNECTIONS FOR EQUIPMENT FURNISHED BY OTHERS. BRANCH CIRCUIT WIRING SHALL MEET ALL REQUIREMENTS OF THE EQUIPMENT MANUFACTURER.
5. MOUNTING HEIGHT DIMENSIONS FOR WIRING DEVICES ARE FROM THE FINISHED FLOOR UP TO THE CENTER OF THE OUTLET BOX.
6. CENTER OUTLETS HORIZONTALLY IN ARCHITECTURAL FEATURES.
7. DO NOT SCALE DRAWINGS. DEVICE LOCATIONS ARE APPROXIMATE UNLESS DIMENSIONED. ACTUAL DEVICE LOCATIONS SHALL BE FIELD COORDINATED WITH ALL OTHER TRADES AND APPLICABLE CODES.

## DRAWING NOTES

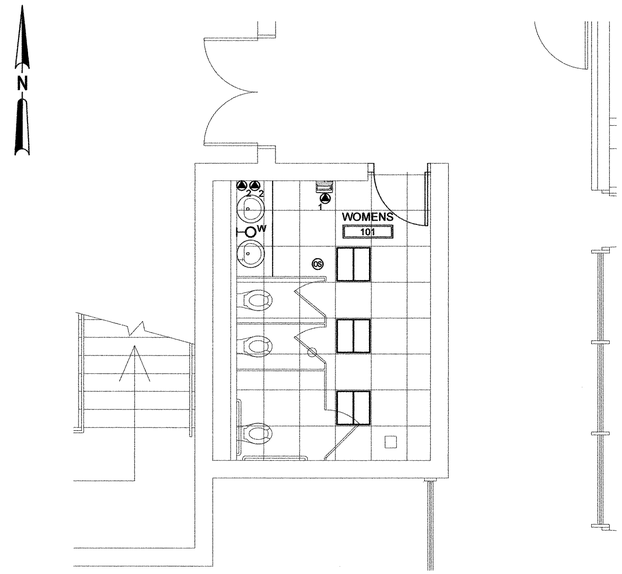
1. REINSTALL ALL FIRE ALARM DEVICES AFTER INSTALLATION OF CEILING. VERIFY PROPER OPERATION AND COMMUNICATIONS WITH FIRE ALARM CONTROL UNIT.
2. INSTALL NEW WIRING DEVICES AND WIRING DEVICE FACE PLATES FOR ALL SWITCHES AND RECEPTACLE OUTLETS IN MODIFIED ROOMS.

## DEMOLITION NOTES

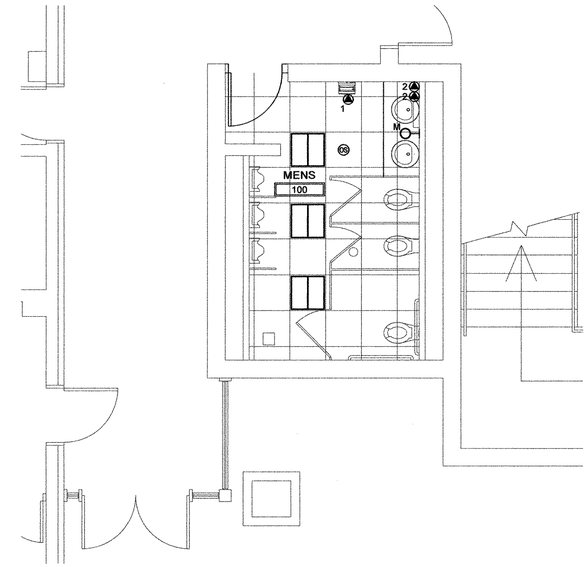
1. DEMOLISH AND REMOVE EXISTING LIGHT FIXTURES IN RESTROOMS THAT ARE TO BE RENOVATED
2. MAINTAIN CIRCUIT CONTINUITY FOR ALL REMAINING CIRCUITS

## SYMBOLS

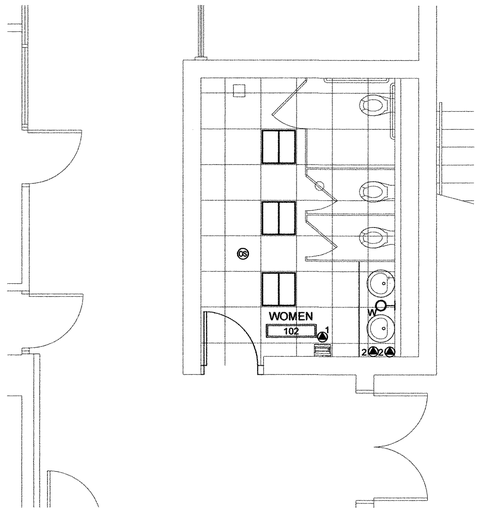
| | |
|---|---|
| M | WALL FIXTURE OUTLET<br>FIXTURE TO BE FEISS VS17103CH WITH LED LAMPS<br>FIXTURE TO BE CONNECTED TO EXISTING LIGHTING CONDUCTORS AND CONTROLLED BY NEW OCCUPANCY SENSOR.<br>COORDINATE FIXTURE LOCATION WITH ARCHITECT |
| W | WALL FIXTURE OUTLET<br>FIXTURE TO BE MINKA LAVERY CASHELMARA 3243-77 WITH LED LAMPS<br>FIXTURE TO BE CONNECTED TO EXISTING LIGHTING CONDUCTORS AND CONTROLLED BY NEW OCCUPANCY SENSOR.<br>COORDINATE FIXTURE LOCATION WITH ARCHITECT |
| | 2' X 2' RECESSED FLUORESCENT TROFFER WITH 2 F17T8 LAMPS.<br>FIXTURE TO BE LIGHTOLIER ALS2GUP217UNVHI<br>FIXTURE TO BE CONNECTED TO EXISTING LIGHTING CONDUCTORS AND CONTROLLED BY NEW OCCUPANCY SENSOR. |
| OS | CEILING MOUNTED OCCUPANCY SENSOR.<br>TO BE WATTSTOPPER DW-355 OR EQUAL. |
| 1 | 120V 9.8A HAND DRYER.<br>TO BE CONNECTED TO NEAREST PANEL WITH 2 #12 AND #12G<br>PROVIDE AND INSTALL 20A SINGLE POLE GFCI BREAKER FOR PANEL. |
| 2 | 120V CONNECTION FOR AUTOMATIC FLUSH OR SINK FAUCETS SENSOR TRANSFORMERS.<br>POWER TO BE PROVIDED FROM NEAREST RECEPTACLE CIRCUIT.<br>COORDINATE ALL LOCATIONS WITH PLUMBING EQUIPMENT. |



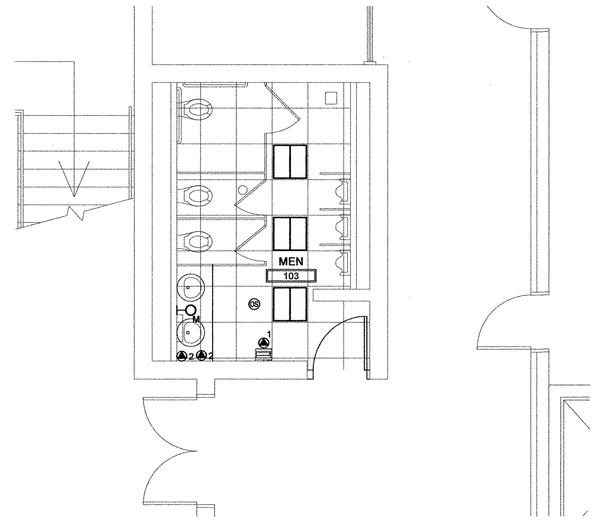

1 / E101 WOMEN'S TOILET - NORTH
SCALE: 1/4" = 1'-0"



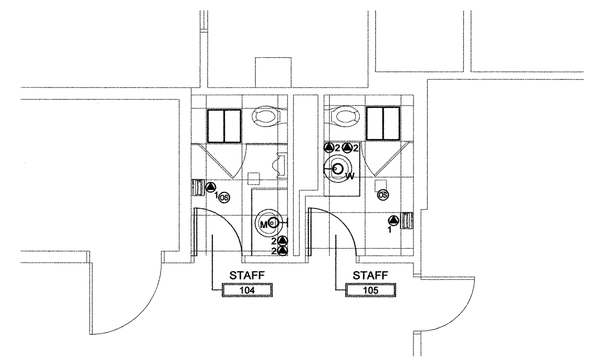

2 / E101 MEN'S TOILET - NORTH
SCALE: 1/4" = 1'-0"




3 / E101 WOMEN'S TOILET - SOUTH
SCALE: 1/4" = 1'-0"




4 / E101 MEN'S TOILET - SOUTH
SCALE: 1/4" = 1'-0"




5 / E101 STAFF TOILET - SOUTH
SCALE: 1/4" = 1'-0"

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 4/22/2013 | RBS | ISSUED FOR BID |

REVISIONS

DRAWN BY: MWH DATE: 08/08/2012 CHECKED BY: RBS DATE: 08/10/2012

CADFILE: JLA24x36.DWG REV. 10/27/07 DRE

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES, PC No. C00790 CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA PROFESSIONAL ENGINEER No. 30385 4/22/2013 MATTHEW WARD HURLEY

Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

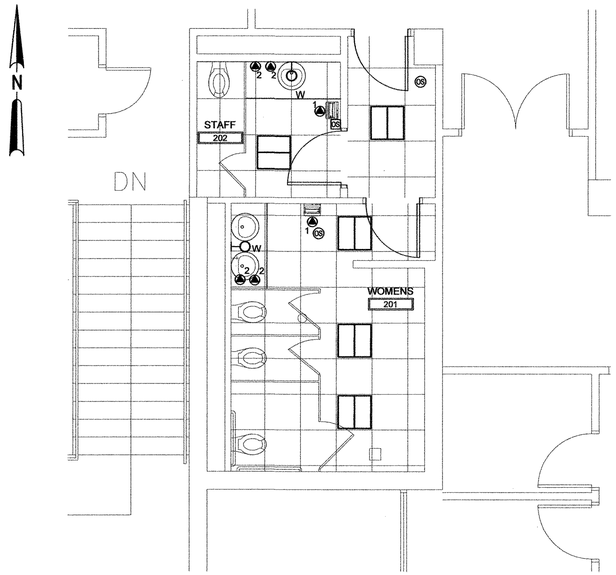
PENLAND BUILDING RESTROOM RENOVATIONS

**ELECTRICAL FIRST FLOOR PLAN**

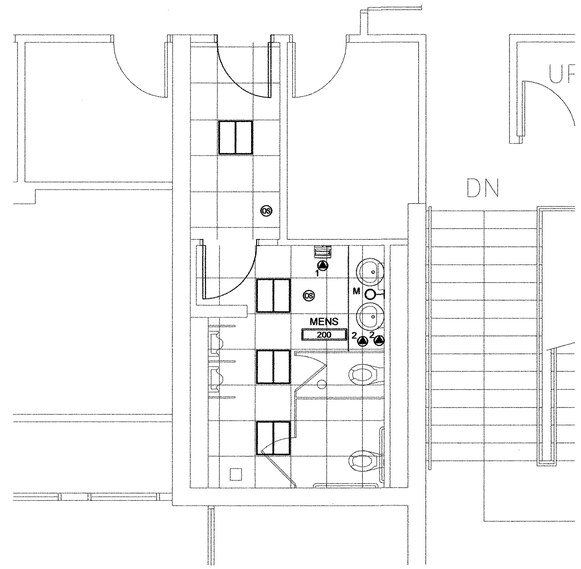

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955


| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| 1/4"=1'-0" | 8/8/2012 | 6930.1202 | E101 | 0 |

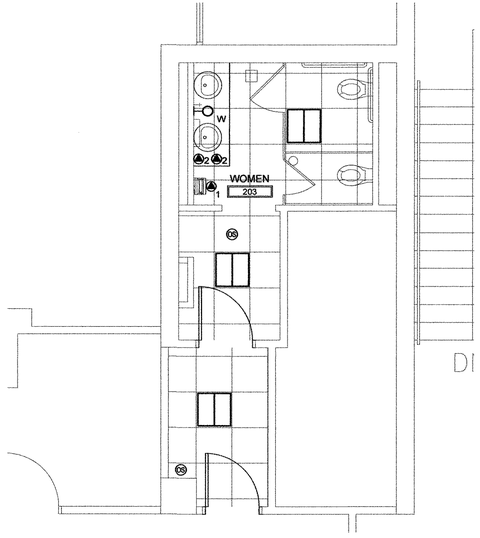
K:\69301202\Elec\E_FIRST.dwg Plotted: 4/23/2013 1:59 PM By:Matthew Hurley, P.E., RCDD



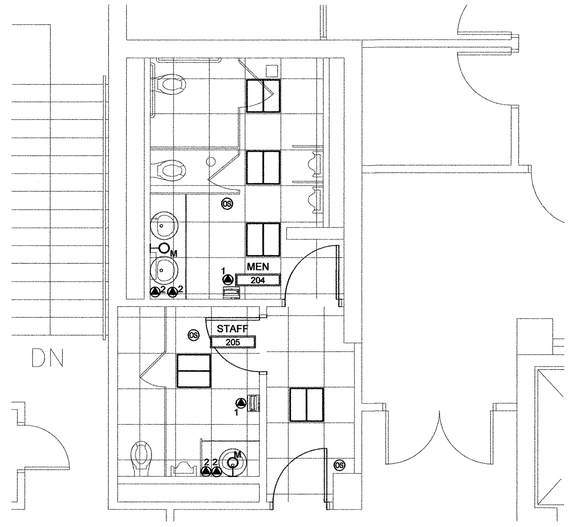

1 E102 **WOMEN'S TOILET - NORTH**
SCALE: 1/4" = 1'-0"




2 E102 **MEN'S TOILET - NORTH**
SCALE: 1/4" = 1'-0"




3 E102 **WOMEN'S TOILET - SOUTH**
SCALE: 1/4" = 1'-0"




4 E102 **MEN'S TOILET - SOUTH**
SCALE: 1/4" = 1'-0"

| REV | DATE | BY | DESCRIPTION |
|---|---|---|---|
| 0 | 4/22/2013 | RBS | ISSUED FOR BID |

REVISIONS

DRAWN BY: MWH DATE: 08/08/2012 CHECKED BY: RBS DATE: 08/10/2012

SCOPE OF WORK IN THIS CONTRACT SHALL INCLUDE FIRST FLOOR RESTROOM RENOVATIONS IN BASE BID.
PROVIDE ADD ALTERNATE #1 FOR SECOND FLOOR RESTROOM RENOVATIONS

SOUTH CAROLINA JOHNSON, LASCHOBER & ASSOCIATES, PC No. C00790 CERTIFICATE OF AUTHORIZATION

SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER No. 30385 4/22/2013 MATTHEW WARD HURLEY

Since 1980
Architects ● Engineers ● Landscape Architects ●
www.theJLAgroup.com

USC AIKEN
AIKEN, SOUTH CAROLINA

PENLAND BUILDING RESTROOM RENOVATIONS

**ELECTRICAL SECOND FLOOR PLAN**

JOHNSON, LASCHOBER & ASSOCIATES, P.C.
1296 BROAD STREET AUGUSTA, GEORGIA 30901
TEL (706) 724-5756 FAX (706) 724-3955

| SCALE | DATE | PROJECT NO. | DRAWING NO. | REV. |
|---|---|---|---|---|
| 1/4"=1'-0" | 8/8/2012 | 6930.1202 | E102 | 0 |

K:\69301202\Elec\E_SECOND.dwg Plotted: 4/23/2013 1:55 PM By: Matthew Hurley, P.E., RCDD

CADFILE: JLA24x36.DWG REV. 10/27/07 CRE